

Northern Planning Committee

Agenda

Date:	Wednesday, 9th August, 2023
Time:	10.00 am
Venue:	The Capesthorpe Room - Town Hall, Macclesfield SK10 1EA

Members of the public are requested to check the Council's website the week the Northern Planning Committee meeting is due to take place as Officers produce updates for some or all of the applications prior to the commencement of the meeting and after the agenda has been published.

The agenda is divided into 2 parts. Part 1 is taken in the presence of the public and press. Part 2 items will be considered in the absence of the public and press for the reasons indicated on the agenda and in the report.

It should be noted that Part 1 items of Cheshire East Council decision-making meetings are audio recorded and the recordings are uploaded to the Council's website.

PART 1 – MATTERS TO BE CONSIDERED WITH THE PUBLIC AND PRESS PRESENT

1. **Apologies for Absence**

To receive any apologies for absence.

2. **Declarations of Interest/Pre Determination**

To provide an opportunity for Members and Officers to declare any disclosable pecuniary and non-pecuniary interests and for Members to declare if they have a pre-determination in respect of any item on the agenda.

3. **Minutes of the Previous Meeting** (Pages 5 - 10)

To approve the Minutes of the meeting held on 5th July 2023 as a correct record.

Please Contact: Gaynor Hawthornthwaite
E-Mail: gaynor.hawthornthwaite@cheshireeast.gov.uk with any apologies or request for further information
Speakingatplanning@cheshireeast.gov.uk to arrange to speak at the meeting

4. **Public Speaking**

A total period of 5 minutes is allocated for each of the planning applications for the following:

- Ward Councillors who are not members of the Planning Committee
- The relevant Town/Parish Council

A period of 3 minutes is allocated for each of the planning applications for the following individuals/groups:

- Members who are not members of the planning committee and are not the Ward Member
- Objectors
- Supporters
- Applicants

5. **21/0423M - BRUNDRED FARM, 45, CASTLE HILL, PRESTBURY, SK10 4AS: The proposal involves the construction of two new dwellings in the garden of Brundred Farm. Erection of one detached dwelling amended from previous permissions (Plot 1), demolition of existing extension to Brundred Farmhouse and internal redesign into a guest accommodation and gym and erection of an adjacent detached dwelling (Plot 2) for Adam Lodge (Pages 11 - 32)**

To consider the above planning application.

6. **22/4743M - 22, LONDON ROAD, ALDERLEY EDGE, WILMSLOW, CHESHIRE, SK9 7JS: Change of use from offices to four residential units on first and second floors accessed via a new brick entrance with stairs, a scheme of critical structural repairs to the building and clock, as well as repairs to make the building watertight. The ground and basement will be use class E(a), E(b), E(c) for Mr Phil Bradby, Mango Homes (Pages 33 - 62)**

To consider the above planning application.

7. **22/4744M - 22, LONDON ROAD, ALDERLEY EDGE, WILMSLOW, CHESHIRE, SK9 7JS: Listed building consent for change of use from offices to four residential units on first and second floors accessed via a new brick entrance with stairs, a scheme of critical structural repairs to the building and clock, as well as repairs to make the building watertight. The ground and basement will be use class E(a), E(b), E(c) for Mr Phil Bradby, Mango Homes (Pages 63 - 76)**

To consider the above planning application.

8. **22/0692M - ADDERS MOSS, MACCLESFIELD ROAD, OVER ALDERLEY, MACCLESFIELD, CHESHIRE, SK10 4UD: Replacement of existing dwelling and outbuildings with a new dwelling and outbuildings of exceptional design quality. Including landscaping scheme and new vehicle access from Prestbury Road, and associated development for Hares (Pages 77 - 114)**

To consider the above planning application.

Membership: Councillors S Adams, M Beanland, T Dean, K Edwards, M Gorman, S Holland, T Jackson, D Jefferay (Chair), N Mannion, J Place, J Smith and F Wilson (Vice-Chair)

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CHESHIRE EAST COUNCIL

Minutes of a meeting of the **Northern Planning Committee**
held on Wednesday, 5th July, 2023 in the The Capesthorne Room - Town
Hall, Macclesfield SK10 1EA

PRESENT

Councillor D Jefferay (Chair)

Councillors S Adams, M Beanland, K Edwards, M Gorman, S Holland,
T Jackson, N Mannion, J Place and A Kolker

OFFICERS IN ATTENDANCE

Nicky Folan – Planning Solicitor
Paul Wakefield – Planning Team Leader
Neil Jones – Principal Development Officer
Gaynor Hawthornthwaite – Democratic Services Officer

11 APOLOGIES FOR ABSENCE

Apologies were received from Councillors T Dean and F Wilson.
Councillor A Kolker attended as a substitute for Councillor Dean.

12 DECLARATIONS OF INTEREST/PRE DETERMINATION

It was noted that all Members had received correspondence in respect of
application 22/4758M.

In the interest of openness in respect of application 22/4758M, Councillor
Jefferay declared that he had previously spoken in support of the
application, and that he would be exercising his right to speak as the Ward
Councillor under the Public Speaking Protocol and would then leave the
room for the remainder of the item.

13 MINUTES OF THE PREVIOUS MEETING

That the minutes of the previous meeting held on 7 June 2023 be
approved as a correct record and signed by the Chair.

14 PUBLIC SPEAKING

That the public speaking procedure be noted.

15 22/0783M - OAKWOOD NURSERIES, CHELFORD ROAD, OLLERTON, KNUTSFORD WA16 8SE: OUTLINE PLANNING PERMISSION WITH ALL MATTERS RESERVED EXCEPT FOR ACCESS FOR THE DEMOLITION OF EXISTING COMMERCIAL BUILDINGS AND THE CONSTRUCTION OF NEW DWELLINGS FOR MR & MRS KEVIN & TRACEY WARBURTON

Consideration was given to the above application.

(Jill Naylor (Agent) attended the meeting and spoke in respect of the application).

RESOLVED:

That for the reasons set out in the report, the application be APPROVED, subject to the completion of a s106 agreement to secure:

- Affordable Housing comprising 30% (3 units as proposed), available for intermediate tenure
- Public Open Space of a minimum of 65sqm per dwelling including play space provision comprising of a LAP
- Onsite provision of allotments/community garden
- Management Plan for the on-site public open space, LAP and allotments
- Financial contribution of £1000 per dwelling for recreation outdoor sport in the Knutsford area

and the following conditions:

1. Standard Outline Time limit – 3 years
2. Submission of Reserved Matters
3. Accordance with Approved Plans
4. Access to be constructed in accordance with approved plan prior to first occupation
5. Scheme of Piling works to be submitted, approved and implemented
6. Dust control scheme to be submitted, approved and implemented
7. Noise mitigation scheme to be submitted with reserved matters and to accord with submitted Acoustic Report
8. Provision of electric vehicle infrastructure (charging points) at each property prior to first occupation
9. Submission of contaminated land survey
10. Remediation of contaminated land
11. Reserved matters to be supported by detailed finished ground and floor levels
12. Reserved Matters to be in accordance with submitted scale parameters

13. Development to be carried out in accordance with in accordance with the recommendations of the submitted Ecological Report
14. Nesting Birds Survey to be carried if works are to be carried out during the bird breeding season
15. Proposals for the incorporation of features into the scheme suitable for use by roosting bats and nesting birds to be submitted
16. Detailed lighting scheme to be submitted in support any future reserved matters application.
17. Details of boundary treatments to be submitted, approved and implemented
18. Retention of retained trees
19. Foul and surface water drainage to be connected on separate systems
20. Scheme of surface water drainage and management plan to be submitted, approved and implemented
21. Sustainable drainage management and maintenance plan to be submitted, approved and implemented
22. Details of materials to be submitted, approved and implemented
23. Removal of permitted development rights for extensions and outbuildings
24. Details of bin / refuse storage to be submitted with reserved matters and implemented prior to first occupation
25. Accordance with Travel Information Packs to promote alternative / low carbon transport options for residents to be submitted, approved and implemented.
26. Removal of the vegetation that is encroaching onto the pavement along the frontage of the site.

In the event of any changes being needed to the wording of the Committee's decision (such as to delete, vary or add Conditions and/or Informatives or reasons for approval prior to the decision being issued, the Head of Planning has delegated authority to do so in consultation with the Chairman of the Northern Planning Committee, provided that the changes do not exceed the substantive nature of the Committee's decision

16 WITHDRAWN - 21/3983M - LAND AT SALTERSLEY HALL FARM, SALTERSLEY LANE, WILMSLOW, SK9 5LS: CHANGE OF USE OF LAND FOR 12 HOLIDAY LODGES FOR MR TERENCE CUMMINS

This item was WITHDRAWN by the applicant prior to the meeting.

The Committee adjourned for a short break.

17 22/4758M - 4, WAREHAM STREET, WILMSLOW, SK9 1BT: VARIATION OF CONDITION 1 AND REMOVAL OF CONDITION 3 ON APPROVAL 21/3436M FOR RETROSPECTIVE APPLICATION FOR EXTERNAL DRINKING & DINING AREA IN CONNECTION WITH RESTAURANT WITH PROPOSED DECKING AND CANOPY FOR MS A MOTT, SOTTO

In the absence of the Chair and Vice Chair, for this application, the Committee were asked to appoint a Chair.

RESOLVED:

That Councillor Nick Mannion be appointed as Chair.

Consideration was given to the above application.

(Councillor D Jefferay (Ward Councillor) and Ms C Gascoigne (Agent) attended the meeting and spoke in respect of the application).

Following speaking as the Ward Member, in accordance with the public speaking protocol, as stated in the Declaration of Interest/Pre Determination, Councillor Jefferay left the meeting.

RESOLVED:

That against officers' recommendation, the temporary permission that expires on 22 October 2023 be extended for a further temporary period of 5 years, expiring on 22 October 2028, in accordance with the amended plans and subject to the following additional conditions:

- a tree management plan be submitted

Members were sympathetic to the need for the decking to support the existing business, but were concerned over the lifespan of the structure and the materials it was made from. They felt that the impact on the open space and character of the area was acceptable for a temporary period and that a further 5 years would be sufficient to give the owner time to look at alternative more permanent structures.

In the event of any changes being needed to the wording of the Committee's decision (such as to delete, vary or add Conditions and/or Informatives or reasons for approval prior to the decision being issued, the Head of Planning has delegated authority to do so in consultation with the Chairman of the Northern Planning Committee, provided that the changes do not exceed the substantive nature of the Committee's decision.

The meeting commenced at 10.00 am and concluded at 12.30 pm

Councillor D Jefferay (Chair)

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Application No: 21/0423M

Location: Brundred Farm, 45, CASTLE HILL, PRESTBURY, SK10 4AS

Proposal: The proposal involves the construction of two new dwellings in the garden of Brundred Farm. Erection of one detached dwelling amended from previous permissions (Plot 1), demolition of existing extension to Brundred Farmhouse and internal redesign into a guest accommodation and gym and erection of an adjacent detached dwelling (Plot 2)

Applicant: Adam Lodge

Expiry Date: 25-Mar-2021

SUMMARY

This application seeks full planning permission for the construction of two detached two and a half storey dwelling houses.

The site is located within a sustainable location within the Prestbury settlement boundary.

It is considered that the principle of the new dwellings in the proposed location is acceptable and therefore satisfies the three threads of 'sustainability' as stipulated within the NPPF.

The proposal is commensurately scaled within the plot and appropriately designed to sympathetically integrate with the wider character and appearance of the surrounding area to which the application site forms part thereof.

The proposed development could be implemented without any detrimental impacts on neighbouring amenity.

SUMMARY RECOMMENDATION

Approve subject to conditions

REASON FOR REPORT

The application is to be presented at Northern Planning Committee because it has been 'called-in' to committee at the request of former Cllr Paul Findlow for the following reasons:

“Locally expressed concerns and objections, and at the express request of the Parish Council, relating to:

1.over-development - the proposal is in a Low Density Housing Area, where plot sizes should be circa one acre/0.4 hectare, compared with the proposed 0.17 hectare for plot 1 and 0.20 hectare for plot 2. The adjacent Elm Rise is outside the low density area.

2.the adverse impact on the character and appearance of the area, with which it is out of sympathy.

3.loss of privacy and amenity to neighbours, especially in Elm Rise, resulting in a dominating effect, there also being no contour information for the dwellings in Elm Rise.

4.exacerbating drainage and flooding issues.

5.being contrary to the Village Design Statement.6.the deleterious impact on the Farmhouse and its setting as a heritage asset.

7.the Inspector's view, in a previous appeal, to the effect that allowing the then proposal did not mean it would set a precedent for further dwellings to be erected upon the site or in the wider area.8.the arboricultural survey being out of date.

9.the risk/danger of the proposal subsequently becoming three dwellings on the one site.”

DESCRIPTION OF SITE AND CONTEXT

The application site consists of an area of land within the rear garden of Brundred Farm, 45 Castle Hill, Prestbury. Residential properties surround the site to all sides. The levels within the plot differ, with the site at a lower level than the unadopted road which is used to access it. The plot slopes from north to south with the site also lower than the adjacent 47 Castle Hill and Brundred Farm.

The existing section of garden relating to the application site is overgrown and in the main disused. The surrounding properties consist of a variety of house types and plot sizes, with the more traditional Brundred Farm and number 41, a former agricultural barn, along with the more recent development to the north, west and south.

The boundaries contain mature trees with a large boundary hedge situated on the front boundary. The site is within the settlement boundary of Prestbury.

DETAILS OF PROPOSAL

Full planning permission is sought for the division of the existing domestic curtilage and the construction of two new three-storey dwellings in the garden of Brundred Farm with the front elevations facing onto an unadopted track leading to number 47 Castle Hill. Due to the sloping site the new dwellings would appear single-storey from the front and three-storey from the rear. The existing dwelling would be converted to be used as ancillary accommodation in connection with one of the new dwellings with the demolition of an existing extension.

RELEVANT HISTORY

18/6400M Erection of a single detached dwelling (amendment from previous permissions)
Approved 28 February 2019

- 17/6069M Variation of condition 2 on application 17/0181M - Erection of 1 detached dwelling; extension of existing private road to form new access to the proposed dwelling and associated external works.
Approved 03 April 2018
- 17/0181M Erection of 1 detached dwelling; extension of existing private road to form new access to the proposed dwelling and associated external works
Refused 14 March 2017 – allowed on appeal 01 September 2017
- 16/5155M Retention of the existing dwelling and the erection of 2no. new detached dwellings; extension of existing private road to form access to new proposed new dwellings and associated external works.
Withdrawn – following concerns from the case officer as to the impact of two new dwellings on the character of the area.

POLICIES

Cheshire East Local Plan Strategy 2017 (CELPS)

MP1 Presumption in Favour of Sustainable Development
PG2 Settlement Hierarchy
PG3 Green Belt
PG7 Spatial Distribution of Development
SD1 Sustainable Development in Cheshire East
SD2 Sustainable Development Principles
IN1 Infrastructure
SC3 Health and Well-Being
SC4 Residential Mix
SE1 Design
SE2 Efficient Use of Land
SE4 The Landscape
SE5 Trees, Hedgerows and Woodland
SE6 Green Infrastructure
SE8 Renewable and Low Carbon Energy
SE9 Energy Efficient Development
SE11 Sustainable Management of Waste
SE12 Pollution, Land Contamination and Land Instability
SE13 Flood Risk and Water Management
CO1 Sustainable Travel and Transport
CO3 Digital Connections
Appendix C – Parking Standards

Site Allocations and Policies Document 2022 (SADPD)

PG9 Settlement boundaries
GEN1 Design principles
ENV2 Ecological implementation
ENV3 Landscape character
ENV5 Landscaping

ENV6 Trees, hedgerows and woodland implementation
ENV7 Climate Change
ENV16 Surface Water Management and Flood Risk
HER8 Archaeology
HOU1 Housing Mix
HOU8 Space, Accessibility and Wheelchair Housing Standards
HOU12 Amenity
HOU13 Residential Standards
HOU14 Housing Density
HOU15 Housing Delivery
INF3 Highway Safety and Access
INF9 Utilities

Other material considerations

National Planning Policy Framework 2021 (NPPF)
National Planning Practice Guidance
Cheshire East Borough Design Guide 2017
Trees and Development SPD
Prestbury Village Design Statement 2007
Cheshire East Council Strategic Flood Risk Assessment 2013

CONSULTATIONS (External to Planning)

United Utilities: no objections

Manchester Airport: no objections subject to conditions relating to bird prevention and lighting

Environmental Protection: no objections subject to a condition relating to dust management and EV charging

Lead Local Flood Authority: no objections subject to conditions relating to surface water drainage

Strategic Transport Manager: no objections

Prestbury Parish Council: Object for the following reasons:

- *That the application is not adhering to the existing policy in spite of the site being in an area of low density housing and therefore represents overdevelopment*
- *That the proposals are not sympathetic to the local area*
- *That the application does not follow the requirements of planning policy H12*
- *That there would be a loss of privacy directly into the adjoining properties*
- *That the development could lead to further flooding to adjoining properties due to the drainage issues in the area*
- *That the proposals do not follow the Village design statement*
- *The Parish Council felt that all its comments to the previous applications for this site remained valid and current*

The Parish Council would however support reasonable development on the site that retained the character of and improved the original farmhouse.”

OTHER REPRESENTATIONS

Representations from 5 no. properties have been received. A summary of the relevant points can be viewed below:

- Conflict with policy H12 of the Local Plan which states that new housing plots and the remaining plot should be approx. 0.4 hectares (1 acre).
- Adverse impact on wildlife.
- Access substandard, not compliant with policy DC6 of the Local Plan.
- Does not comply with DC1 and BE1 due to scale/appearance in relation to existing properties
- Tree felling has a negative impact on the character of the area
- Ecological report invalid, additional surveys should be completed for protected species
- Loss of privacy to neighbouring properties.
- The clearance of the trees has had a detrimental impact on the character of the area.
- The proposed 1.8m high fence would lead to a loss of light to the rear of Brundred Farm.
- Drainage is an issue in the area which would be exacerbated by the development.
- The proposal contravenes the Prestbury Village Design Statement.
- The proposal would lead to the separation of Brundred Farmhouse to a separate dwelling leading to three substantial dwellings.

OFFICER APPRAISAL

Principle of Development

Given the site lies within the settlement boundary of Prestbury the principle of a new dwelling is supported by development plan policies and national guidance. The proposal is therefore assessed against the presumption in favour of sustainable development as set out in paragraphs 11 to 14 of the National Planning Policy Framework (NPPF).

Policy MP1 of the Local Plan Strategy (2017) outlines that planning applications that accord with the policies in the Development Plan (and, where relevant, with policies in Neighbourhood Plans) will be approved without delay, unless material considerations indicate otherwise.

Policy SP2 outlines that the Council will encourage the redevelopment/re-use of previously developed land and buildings in most circumstances. The principal of development is only accepted if the development complies with all relevant policies.

Policy HOU14 (Housing Density) outlines that residential development proposals will generally be expected to achieve a net density of at least 30 dwellings per hectare. However, the policy also outlines in determining an appropriate density, factors should be taken into account inclusive of the mix and type of house proposed, the character of the surrounding area, the site constraints and the local context, and impact on neighbouring residential amenity amongst other factors.

The key issues arising from these policy requirements are discussed below.

Design and Impact on Character of the Area

Policies SE 1 and SD 2 of the CELPS and GEN 1 of the SADPD between them set out design criteria for new development which is underpinned by achieving high quality design. Design matters that should be considered include height, scale, form and grouping of development, choice of materials, external design features, massing of development and impact upon the street scene.

The application site comprises the rear garden of Brundred Farm which is accessed from Castle Hill. It slopes from north to south and is lower than Brundred Farm. As viewed within the streetscene it is considered that the area is characterised by individual dwellings of varying sizes set amongst mature plots where it is evident that there is no prevailing architectural style.

The total existing plot size equates to approximately 0.345 hectares, which split in half would make the western plot 0.147 hectares and the eastern plot 0.198 hectares. Policy HOU14 (Housing Density) outlines that residential development proposals will generally be expected to achieve a net density of at least 30 dwellings per hectare. However, the policy also outlines in determining an appropriate density, factors should be taken into account inclusive of the mix and type of house proposed, the character of the surrounding area, the site constraints and the local context, and impact on neighbouring residential amenity amongst other factors. The site as is, and the proposed intensification of the site to deliver the addition building, would have a lower density than policy HOU14 stipulates. However, as the policy outlines, many factors should be taken into consideration in determining acceptable density levels. Of particular relevance in the context of the proposed development of the application site, are impacts of any proposed redevelopment of the site on the character of the surrounding area and the need to preserve the amenity of existing and future occupiers of neighbouring dwellings.

The area within which the site is located was previously referred to as a 'Low Density Housing Area' in the Macclesfield Borough Local Plan with a policy which limited development to minimum plot sizes within Prestbury. This has now been superseded by the SADPD which does not contain minimum plot sizes for low density areas and each case is assessed on its merits.

The site has benefitted from a previously allowed appeal decision for the addition of one additional dwelling in a similar position to the westernmost proposed new dwelling with the plot split into two similar to the proposed.

With this in mind the Inspector concluded the following:

- *Furthermore, and given the variety of house styles in the area, I am satisfied that the dwelling would not look out of place in terms of its height, position or its appearance.*
- *I have taken into account the plot sizes associated with the dwellings which are located within the immediate vicinity of the site. In this context, the proposed plot sizes for the appeal development would suitably reflect those in the immediate area.*

- *The detailed assessment of average plot sizes presented in the more recent Prestbury Village Design Statement 2007 (the VDS) states that in this locality the average plot size is 0.22ha (hence not 0.4 hectares) and that “new developments should conform to the density in the part of the village in which it is taking place, but also to the building scale of its immediate area. Where new buildings or extensions or alterations to existing properties are proposed, they should be sympathetic to the properties around them, to the density of the area and the plot size”. In this case, I do not consider that the proposal would significantly conflict with the design aims of the VDS taking into account the density and plot sizes of the immediate area.*

Although there would be two new dwellings on site there would only be one additional dwelling over and above the existing situation with the existing farmhouse to be used for ancillary accommodation to the proposed eastern dwelling. The circumstances are similar to the appeal proposal in this respect, only with additional built form over the appeal proposal.

The site would be accessed from an existing unadopted road, known locally as Robin Hill, and is bounded by a large hedge to the front elevation. The existing property, Brundred Farm, is positioned in the north-east corner of the site, in close proximity to the former agricultural barn, 41 Castle Hill.

The application site is unusual with the positioning of the current dwelling in the far north-east corner of the site, meaning that there is a lot of space and distance to the adjacent dwelling to the west from the existing property. The distances between the proposed dwellings and the surrounding dwellings would be commensurate to the other properties in the area and better than most. The spacious landscape setting of the area would be maintained by the proposal.

The dwelling would not be visible from public vantage points, with the site positioned along an unadopted, private road with good screening to the front in the form of a tall boundary hedge and with a site that slopes away from the access road. The site enables the addition of the new dwellings without adversely affecting the spacious character of the area.

In respect to design, Paragraph 130 of the NPPF advises that decisions should aim to ensure that development, *inter alia*:

- *Will function well and add to the overall quality of the area;*
- *Respond to local character and history, and reflect the identity of local surroundings and materials, while not preventing or discouraging appropriate innovation; and*
- *Are visually attractive as a result of good architecture and appropriate landscaping.*

There are many different styles of property in the immediate vicinity with the older farmhouse and converted barn to the east of the proposed dwelling and the newer development to the north, west and south. It is not highly visible, and the sloping site would allow the new dwellings to not be overly dominant within the street scene. The proposal is considered to respect the form and character of the area and no objections are raised in terms of design. The proposal is therefore considered to comply with the above-mentioned policies relating to design and character. The appeal Inspector included a condition withdrawing permitted development rights for classes A-E in order to ‘retain/reflect the sense of space...that prevails between and around residential properties in the area’ and it is considered reasonable and necessary to include a similar condition with the current proposal.

Heritage

The existing property is depicted on the 1836 tithe map in a very similar footprint as the current structure: and was one of a number of farmsteads which date back to the clearing of the remnants of the Macclesfield Forest in the early C17th. It was one of the original buildings on Castle Hill and while it is neither on the local list nor on the national list of important buildings it does nevertheless still retain some significant features such as the internal timber frames. As such it is considered that this building should be treated as a non-designated heritage asset and judged against Cheshire East policy SE7 - Historic Environment, which requires that the impact of a proposal on the significance of the asset to be properly considered. SADPD policy HER 7 states that a balanced judgement will be required, when considering development that would impact a non-designated heritage asset. Regard should be given to the significance of the heritage asset and the scale of any loss or harm.

The proposal involves the construction of two new dwellings in the garden of Brundred Farm. Erection of one detached dwelling amended from previous permissions (Plot 1), demolition of existing extension to Brundred Farmhouse and internal redesign into ancillary accommodation including gym and office (Detaching the existing farmhouse for use as ancillary accommodation associated with Plot 2) and erection of an adjacent detached dwelling (Plot 2).

This application involves the demolition of the existing newer northern extension and to the rear (West) the relatively new extension to Brundred Farmhouse. The current building still retains the majority of its internal timber frame and a large chimney structure to what would have been the outside rear wall of the property. It is considered that it is the timber framing which is perhaps the most significant element of what remains of this C17 property. There have been a number of C20 additions which while they contribute to the current house are of little significance to the core building. The current application has taken this on board and submitted a plan which retains this core element of the building removing the C20 additions.

The heritage statement for this application does recognise the significance of this building and its contribution to the farm steading of the past. The historic core of the building will still be retained and put into active use (albeit ancillary) for enjoyment of one of the properties on this site. It is therefore considered that the changes proposed for this building will help to reveal the past by removing the modern additions and would result in an improvement to the external appearance of the building. No heritage concerns are therefore raised.

Living Conditions

Policies HOU12 (amenity), HOU13 (Residential Standards) and SE1 (Design) set out that development should ensure an appropriate level of privacy for new and existing residential properties and convey that proposed development shouldn't generally result in any unacceptable impact to neighbouring residential amenity.

The objections have been carefully considered. To the north of the proposed dwelling the distance to Mallard House is over 30m at its closest point. Together with the lower ground level of the proposal no objections are raised in relation to this property.

To the west number 47 is positioned at a higher level than the application site, a distance of over 30m between the two dwellings and no habitable windows on the side elevation overlooking the application site, meaning that no objections are raised in relation to this property.

Although the properties to the south on Elm Rise are positioned at a lower level than the proposed dwelling a minimum distance of 44m separates these dwellings from the proposal.

A distance of approx. 20m would lie between the new eastern dwelling and number 39 Castle Hill, however the angle between the two properties is oblique and not directly facing each other.

These distances are in excess of the distances outlined in policy HOU13 and would be commensurate to the distances separating dwellings in the area. As such, it is not considered that the proposed development would be significantly overbearing or overshadow the neighbouring properties.

In addition to the above, the site has existing mature trees and vegetation which would help retain privacy between the proposed dwelling and neighbouring properties and help filter visibility of the development as viewed from these occupiers.

The Inspector concluded the following in relation to the impact on the neighbouring dwelling:
Taking into account the proposed land levels and separation distances involved from surrounding residential properties, coupled with existing/proposed boundary landscaping, I am satisfied that the proposed dwelling would not have a significantly detrimental impact upon the occupiers of such dwellings in terms of levels of light, privacy and outlook. I acknowledge that the proposed dwelling would be visible from some surrounding properties, particularly in the winter/autumn months when the trees are without leaf, but the courts have held that the loss of a view is not a material planning consideration.

The proposal is therefore considered to meet the stipulations of policies HOU12, HOU13 and SE1 of the Local Plan and guidance contained within the NPPF.

Highways

It is proposed that pedestrian and vehicular access to both dwellings will be from an existing shared private driveway, which presently serves a number of dwellings including Brundred Farm.

The proposal for use of the existing site access to serve the two dwellings is acceptable. It is noted that lateral visibility associated with the existing site access, along Castle Hill, does not appear to conform to current design guidance; however, as the proposal is limited to two dwellings and the access already serves a number of dwellings, this is not considered to be a sustainable reason for refusal.

There is sufficient space within each plot for off-street car parking provision to be in accordance with CEC parking standards. The commuter peak hour and daily traffic generation associated with two additional dwellings would not be expected to have a material impact on the safe operation of the adjacent or wider highway network.

The commuter peak hour and daily traffic generation associated with two additional dwellings would not be expected to have a material impact on the safe operation of the adjacent or wider highway network.

The Head of Strategic Transport has no objection to the planning application. No significant highways issues are therefore raised.

Drainage

The proposed scheme has been assessed by the Council's Flood Risk Team and subject to appropriate conditions no objections are raised to the proposal.

Arboriculture and Forestry

Policy SE 5 of the CELPS states that development proposals which will result in the loss of, or threat to, the continued health and life expectancy of trees, hedgerows or woodlands that provide a significant contribution to the amenity, biodiversity, landscape character or historic character of the surrounding area, will not normally be permitted, except where there are clear overriding reasons for allowing the development and there are no suitable alternatives.

SADPD policy ENV 6 sets out a range of policy requirements relating to trees and hedgerows. Amongst other matters, it states that development should retain and protect trees, with the proposed layout being informed and supported by an appropriate arboricultural assessment.

The application is supported by a detailed Arboricultural Statement, which identifies the removal of a single tree T6 and the western section of Area A1 and A2; these trees have been categorised as low value (Cat C) specimens. This designation is agreed by the Council's Forestry Officer.

The proposed development and associated hard standing respects the Root Protection Areas (RPA) of the retained trees and in particular those identified as G3, which includes some specimens located off site. The value of the retained group has been diminished by the tree felling previously undertaken on site. The more mature trees have been left exposed in an etiolated form, and this, combined with an absence of public views from outside the site, precludes their consideration for formal protection.

The addition of a suitable landscaping condition will ensure that satisfactory landscaping of the site is achieved. No objections are raised by the Council's Arboricultural Officer subject to a suitable tree protection condition. The proposals are therefore considered to comply with policies SE5 and ENV6 of the Local Plan.

Nature Conservation

CELPS policy SE 3 sets out the main policy requirements in relation to development proposals that would have an impact on the borough's biodiversity and geodiversity. Development proposals which are likely to have a significant adverse impact on a site with the local or regional designations, habitats or species specified in the policy will not be permitted except where the reasons for or benefits of the proposed development outweigh the impact of the development.

All development must aim to positively contribute to the conservation and enhancement of biodiversity and geodiversity and should not negatively affect these interests to comply with policy SE 3. SADPD policy ENV 2 provides further requirements when considering the ecological impact of a proposal. It expects all development to provide a net gain in biodiversity, and states that planning applications should be supported by an ecological assessment.

The following ecological matters are relevant to the current proposal:

Great Crested Newts

The nature conservation officer advises that it is unlikely that the condition of the neighbouring pond will have changed since the last survey, and as such no update regarding Great Crested Newts is required in support of this application.

Bats

An updated set of surveys has been carried out on the property which found the section of existing building proposed for works does not contain a legally protected roost. No further survey effort is required in respect of bats for this application.

Breeding Birds

If planning consent is granted, the addition of a suitable worded condition is required to protect breeding birds.

Ecological Enhancement

Local Plan Policy SE 3(5) requires all developments to aim to positively contribute to the conservation of biodiversity. This planning application provides an opportunity to incorporate features to increase the biodiversity value of the final development in accordance with this policy. The Council's Nature Conservation Officer therefore recommends that if planning permission is granted a condition should be attached which requires the submission of an ecological enhancement strategy.

Subject to conditions, the proposal is considered to comply with policies SE3 and ENV2 of the Local Plan.

CONCLUSIONS

Whilst the comments received in representation are acknowledged, the site is located in the settlement boundary of Prestbury and would make efficient use of land in an accessible location. It would add to the stock of housing and its construction and occupation would result in social and economic benefits.

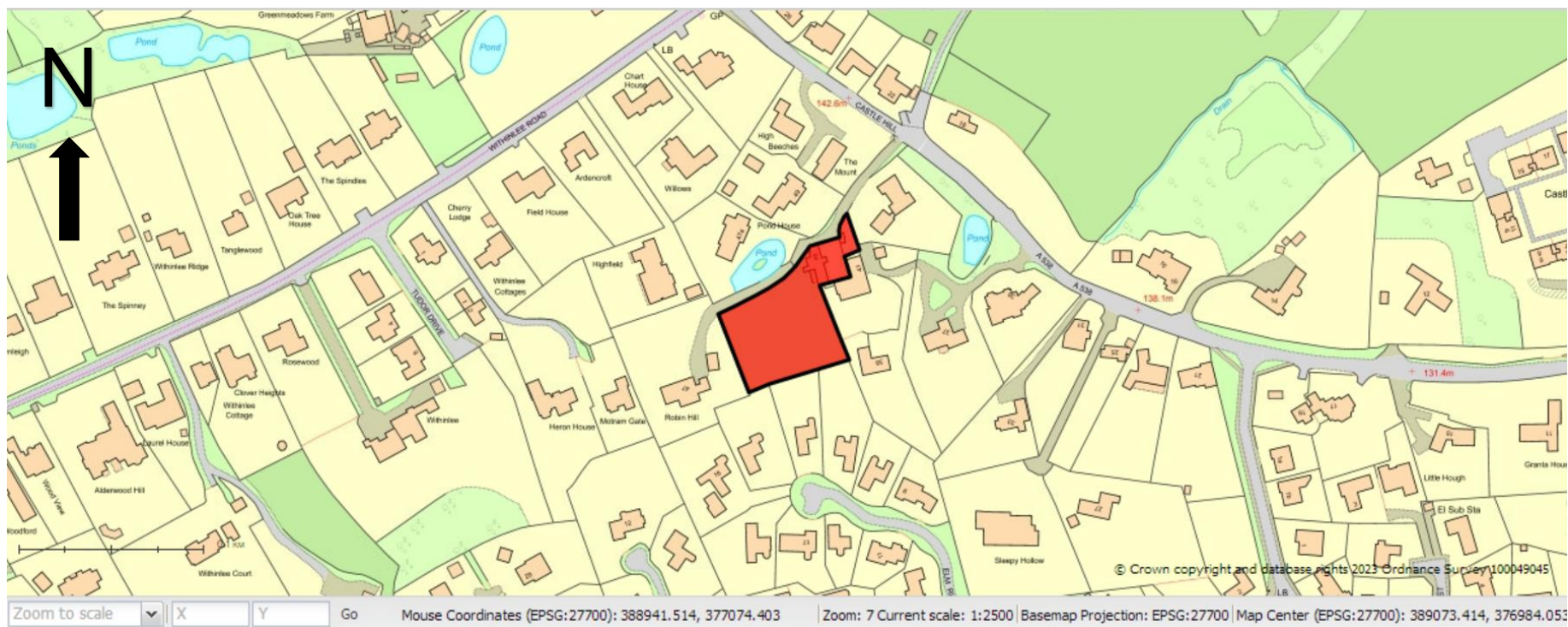
The proposed dwellings preserve the key characteristics of the area whilst ensuring an appropriate level of development which is located within a sustainable urban location. The proposal would also not significantly or detrimentally impact the amenities of neighbouring occupiers.

In such circumstances the NPPF at para.14 requires development proposals that accord with the development plan to be permitted without delay and thusly this application goes before the Planning Committee with a recommendation of approval subject to appropriately worded conditions being attached to any grant of permission.

RECOMMENDATION: Approve subject to the following conditions:

- 1. Commencement of development (3 years)**
- 2. Development in accordance with approved plans**
- 3. Materials as application**
- 4. Landscape scheme to be submitted**
- 5. Implementation of approved landscape scheme**
- 6. Removal of Permitted Development rights**
- 7. Arboricultural works to be carried out in accordance with Arboricultural statement**
- 8. Tree protection**
- 9. Nesting birds survey**
- 10. Ecological enhancement**
- 11. Details of boundary treatment to be submitted**
- 12. Surface water drainage scheme to be submitted**
- 13. Prevention of birds during construction – details to be submitted**
- 14. Prevention of birds post construction – details to be submitted**
- 15. No upward light spill on exterior lighting**

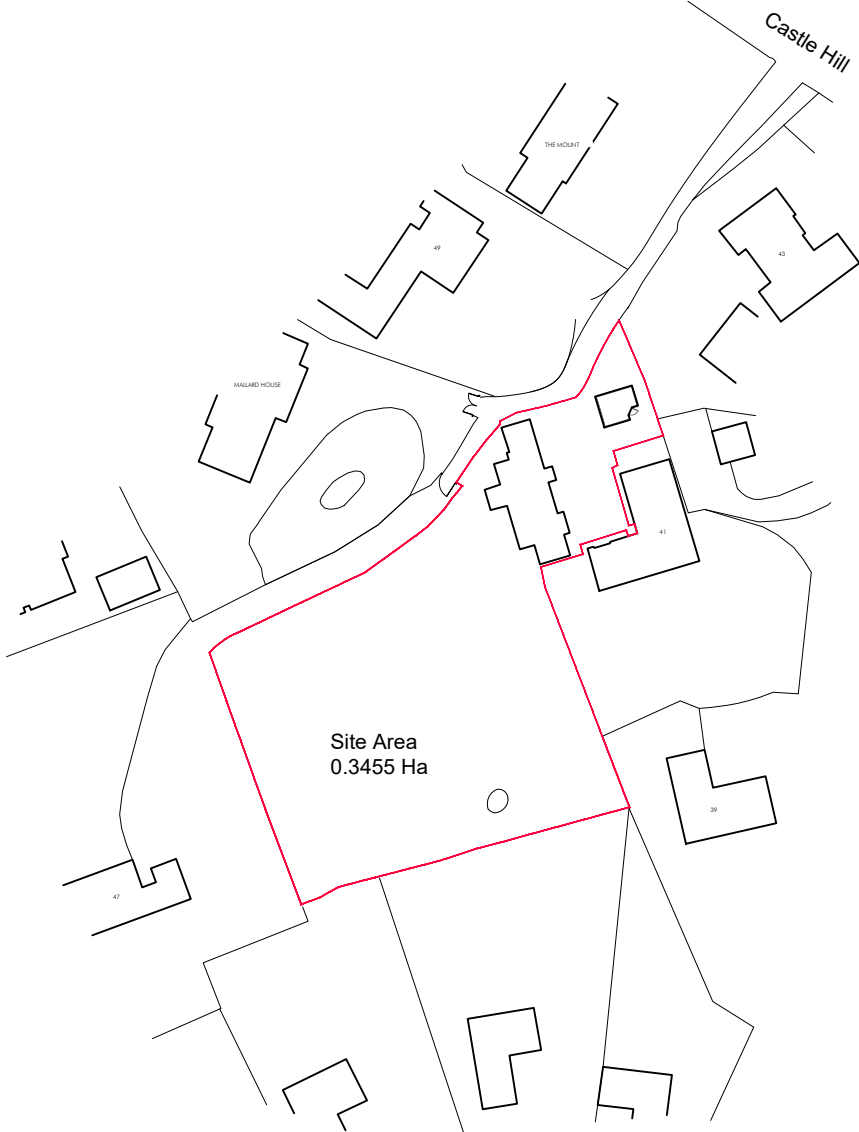
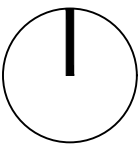
In order to give proper effect to the Committee's intentions and without changing the substance of the decision, authority is delegated to the Head of Planning, in consultation with the Chairman (or in his absence the Vice Chair) of Northern Planning Committee to correct any technical slip or omission in the wording of the resolution, between approval of the minutes and issue of the decision notice and in the event of any subsequent appeal.



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21/0423M

BRUNDRED FARM,
45 CASTLE HILL, PRESTBURY,
SK10 4AS





No dimensions are to be scaled from this drawing. All dimensions are to be checked on site.
Area measurements for indicative purposes only.

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Refer to detail

BOUNDARIES

PLANNING APPLICATION BOUNDARY

S3-P01	15-02-23	Planning	NW	LW
Revision	Date	Description	Drawn	Approved

WRIGHT LANDSCAPES LIMITED



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HEAD OFFICE
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CLIENT Adam Lodge

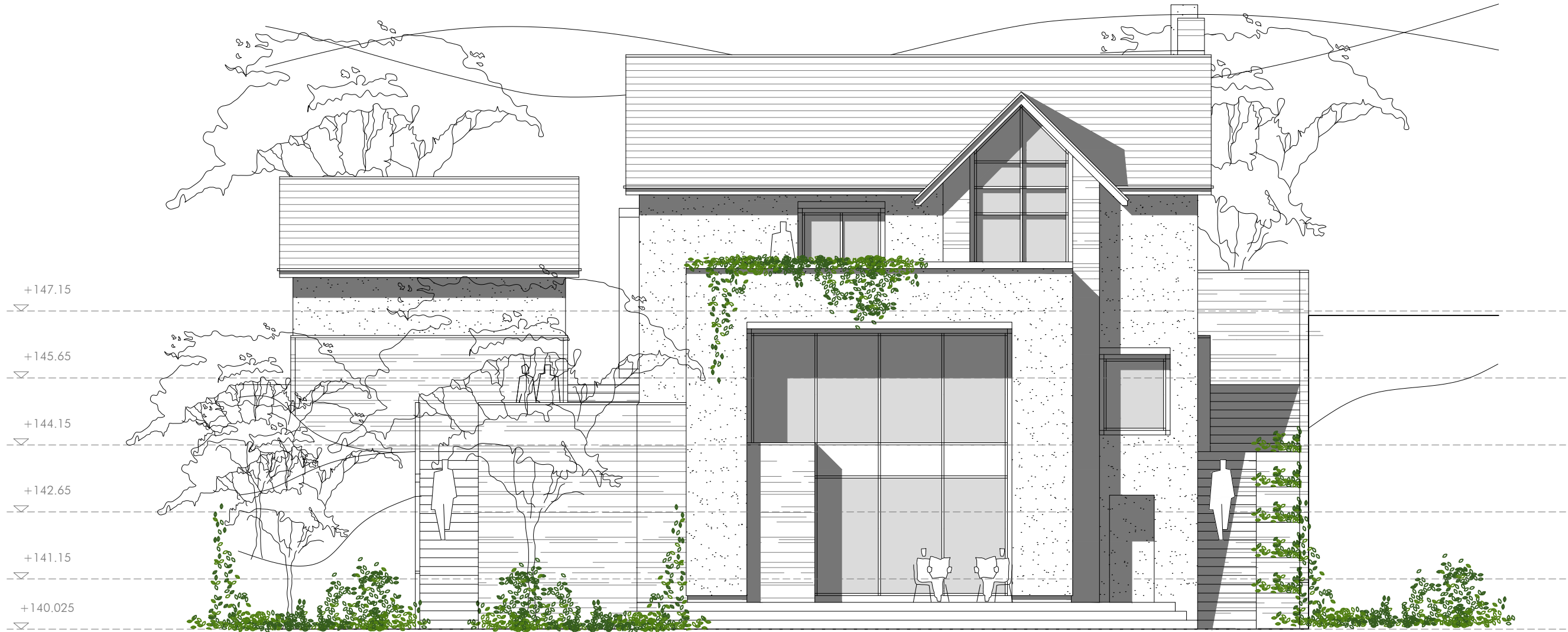
PROJECT Brundred Farm

DRAWING General Arrangement
TITLE

DATE 20/01/2023	SCALE 1:20
DRAWN NW	SIZE A1
APPROVED LW	WORKSTAGE Palnning

DRAWING NUMBER 1153-WRI-XX-XX-DR-L-0001	SUITABILITY S3	REVISION P01
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REV	DESCRIPTION	DATE	DRAWN
A	001 Elevations and sections	18.01.21	SI
B	General Update	19.01.21	SI
C	Plan Update	22.01.21	SI
D	Plan Update	22.01.21	SI



PROPOSED SE ELEVATION



PROPOSED NW ELEVATION

REV	DESCRIPTION	DATE	DRAWN
1	General Layout	18.01.21	SI
2	Final Elevation	20.01.21	SI



PROPOSED NE ELEVATION



PROPOSED SW ELEVATION

CHESHIRE	SURREY	SHEFFIELD	MANCHESTER	LIVERPOOL
Market Court 20-24 Church St Altrincham WA14 4DW 0161 929 7622	100 High St Esher Surrey KT10 9QJ 01372 203 335	Electric Works 3 Concourse Way Sheffield S1 2BJ 0114 250 7983	All Work and Social XYZ Building 2 Hardman Boulevard M3 3AQ 0161 929 7622	AvenueHQ 17 Mann Island Liverpool L3 1BP 0151 662 0122

BRUNDRED FARM, PRESTBURY
ADAM LODGE

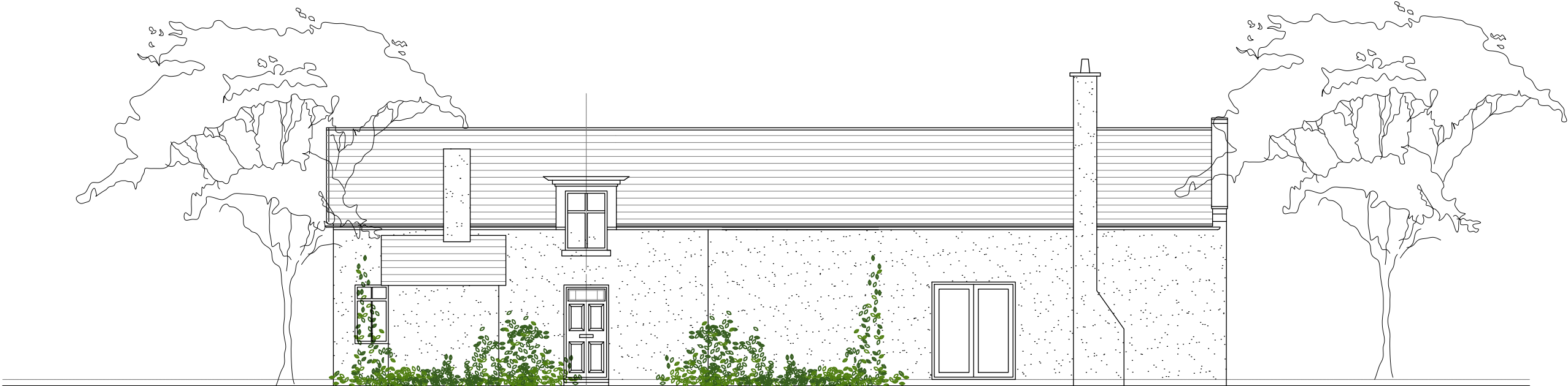
PROPOSED ELEVATIONS - SHEET 2
DWG: 20133 (PL) 201 8
DATE: 18.01.21
SCALE: 1:100 @ A1
DRAWN: SI



SOUTH ELEVATION



NORTH ELEVATION



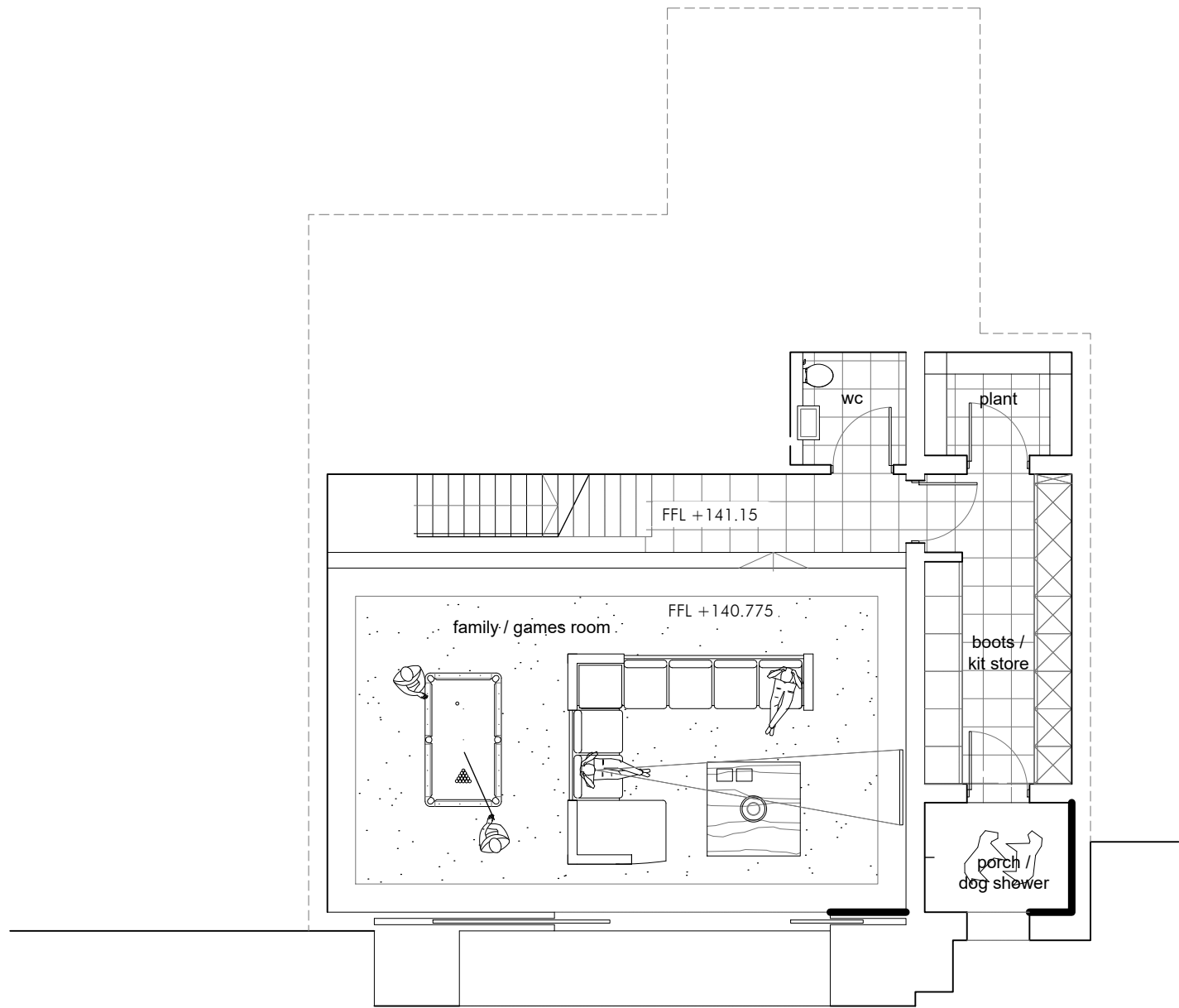
WEST ELEVATION



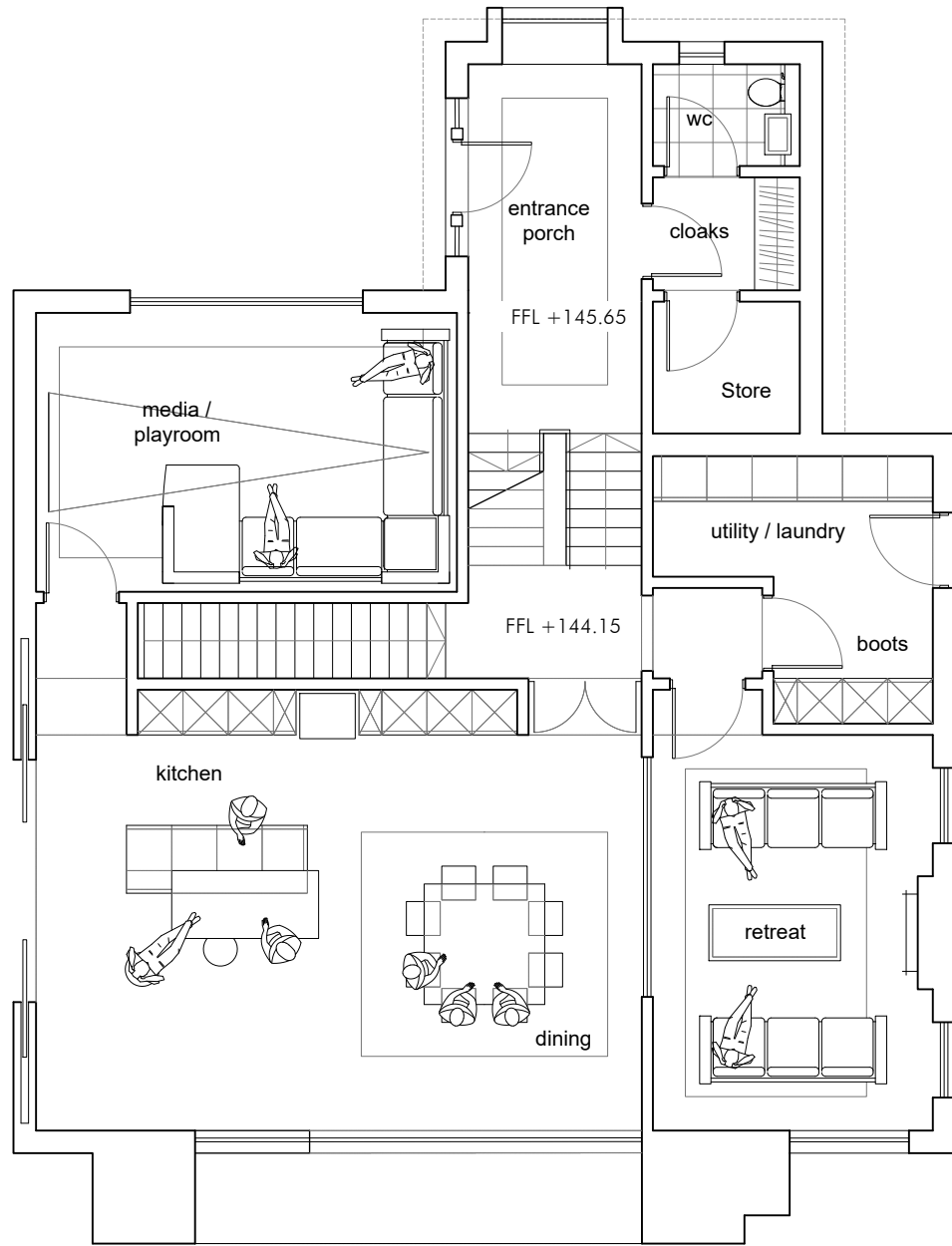
EAST ELEVATION

REV	DESCRIPTION	DATE	DRAWN
1	Rev. addings	14.01.21	SI
2	Rev. addings	14.01.21	SI
3	Rev. addings	14.01.21	SI
4	Rev. addings	14.01.21	SI
5	Rev. addings	14.01.21	SI

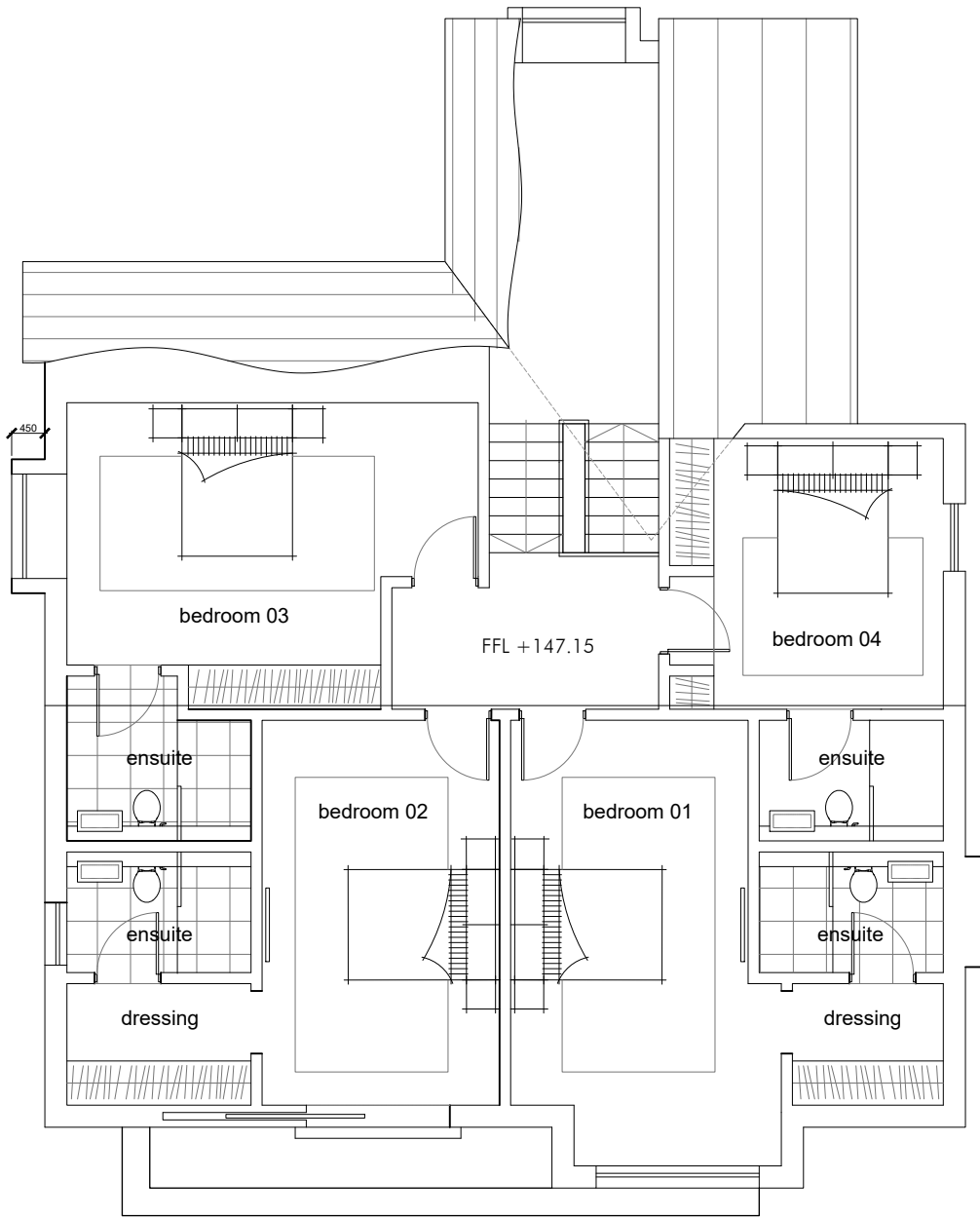
NOTE: DO NOT SCALE FROM THIS DRAWING



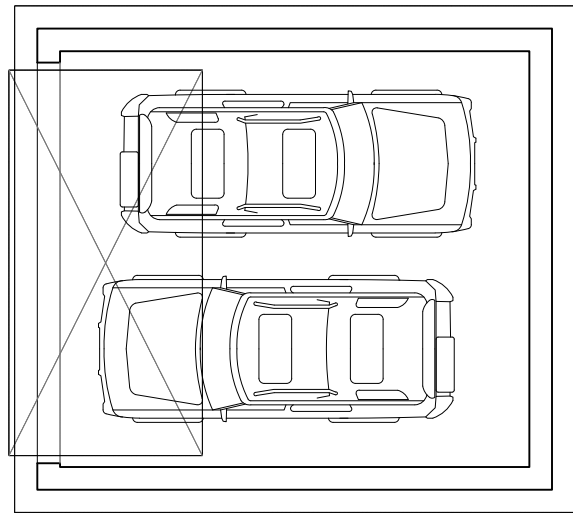
LOWER GROUND FLOOR PLAN



UPPER GROUND FLOOR PLAN

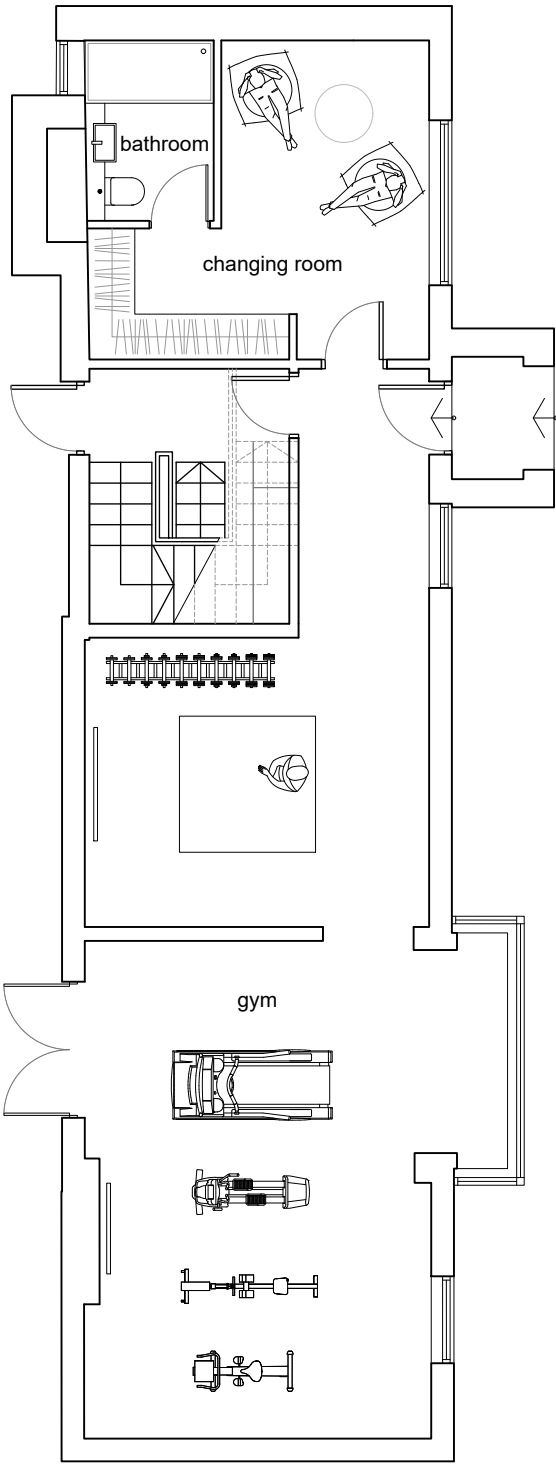


FIRST FLOOR PLAN

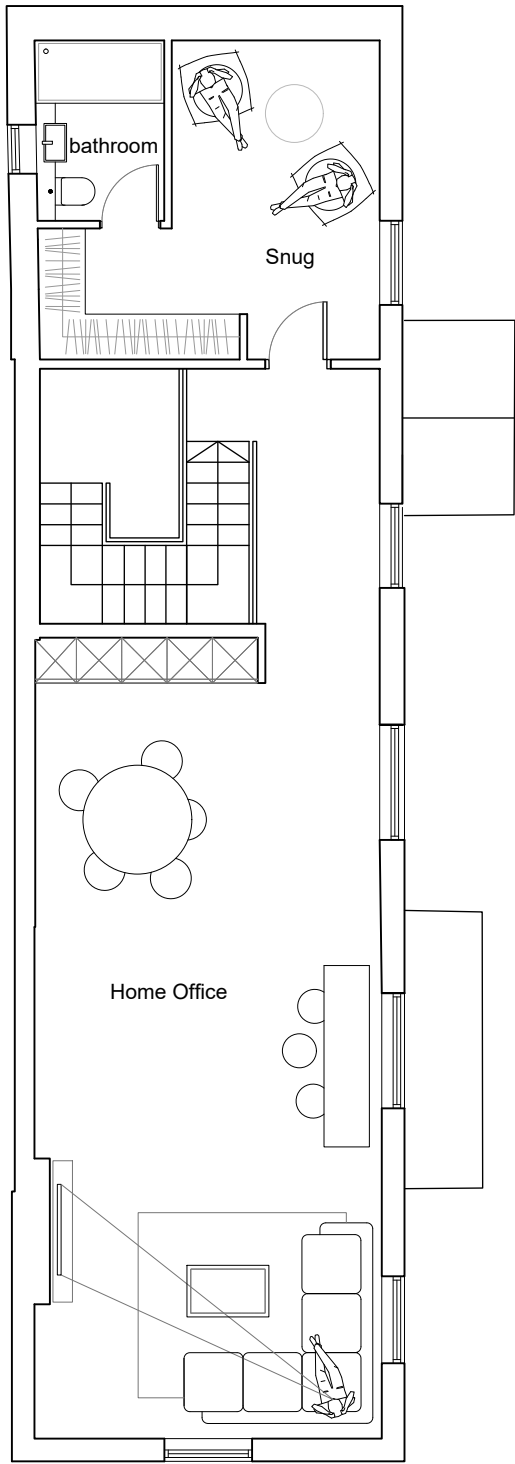


PROPOSED PLOT 1&2

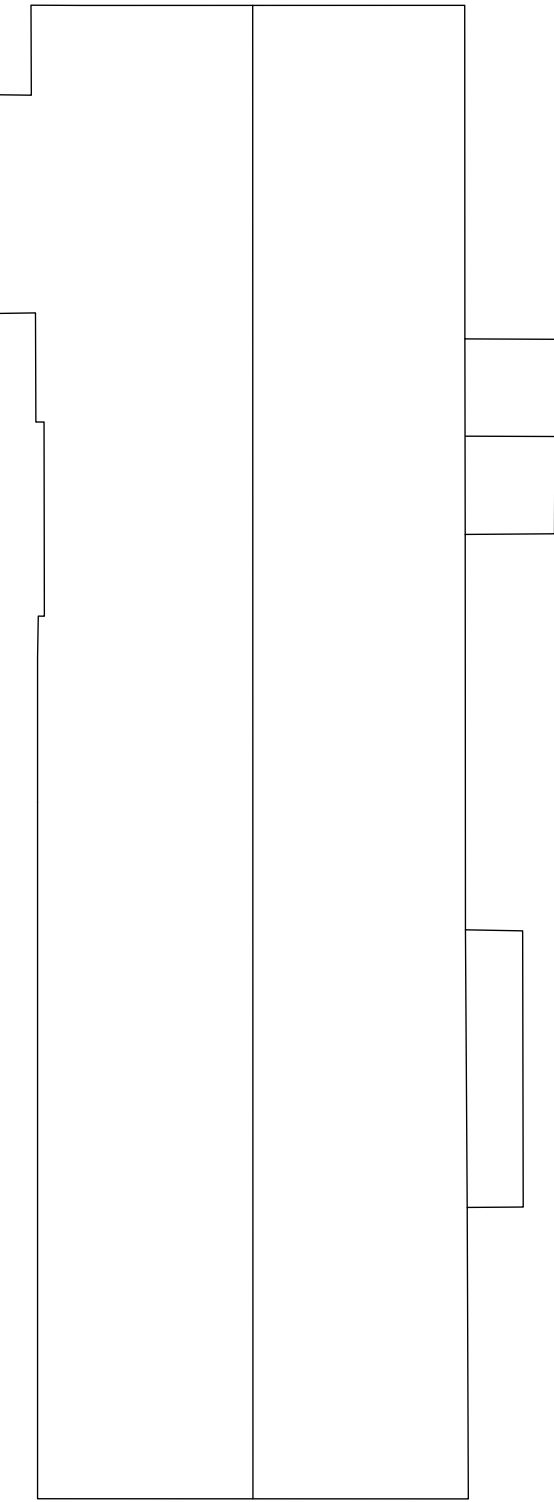
Lower Ground Floor GSA	102m ² / 1098ft ²
Upper Ground Floor GSA	102m ² / 1098ft ²
First Floor GSA	102m ² / 1098ft ²
Total GSA	306m ² / 3306ft ²



GROUND FLOOR PLAN



FIRST FLOOR PLAN



ROOF PLAN

FARMHOUSE ANCILLARY ACCOMMODATION (INCLUDING GYM & OFFICE)

Ground Floor GSA	88.0m ² / 945ft ²
First Floor GSA	88.0m ² / 945ft ²
Total GSA	176.0m ² / 1890ft ²

CHESHIRE	SURREY	SHEFFIELD	MANCHESTER	LIVERPOOL
Market Court 20-24 Church St Altrincham WA14 4DW 0161 929 7622	100 High St Esher Surrey KT10 9QJ 01372 203 335	Electric Works 3 Concourse Way Sheffield S1 2BJ 0114 250 7983	All Work and Social XYZ Building 2 Hardman Boulevard M3 3AQ 0161 929 7622	AvenueHQ 17 Mann Island Liverpool L3 1BP 0151 662 0122

BRUNDRED FARM, PRESTBURY
ADAM LODGE

PROPOSED FLOOR PLANS
DWG: 20133 (PL) 101 C
DATE: 08.01.21
SCALE: 1:100 @ A1
DRAWN: SI

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Application No: 22/4743M

Location: 22, LONDON ROAD, ALDERLEY EDGE, WILMSLOW, CHESHIRE, SK9 7JS

Proposal: Change of use from offices to four residential units on first and second floors accessed via a new brick entrance with stairs, a scheme of critical structural repairs to the building and clock, as well as repairs to make the building watertight. The ground and basement will be use class E(a), E(b), E(c).

Applicant: Mr Phil Bradby, Mango Homes

Expiry Date: 14-Jun-2023

SUMMARY

The proposed development seeks full planning permission for the change of use and conversion of a former bank with associated offices above to commercial uses on the ground floor and basement (shops, financial/professional services or restaurants/cafes) with four one-bedroom residential apartments on the first and second floors above. The building is grade II listed and located on a prominent corner in the main thoroughfare in the centre of Alderley Edge.

The proposal is considered acceptable in principle in the local service centre location and the impact on neighbouring amenity is acceptable. As amended it is considered acceptable in impact on the listed building, subject to conditions. There are concerns raised by the Parish Council, and the call-in reason, relating to parking. No objection has been raised by the Highways officer. There is insufficient information provided with regard to ecology and as such the proposal is recommended for refusal.

SUMMARY RECOMMENDATION

REFUSE

REASON FOR REFERRAL

This application has been referred to Northern Planning Committee following a call-in request from Cllr Craig Browne for the following reasons:

“The application fails to demonstrate compliance with CELPS Parking Standards, in that no provision for vehicle parking has been included within the proposals; this is also contrary to the requirements of the Alderley Edge Neighbourhood Plan, which requires a minimum of one on-

site space per two-bed dwelling. As the proposal relates to a listed building, there is also potential conflict with policies HER1 (Heritage Assets) and HER4 (Listed Buildings) within the newly adopted Site Allocations & Development Policies Document; therefore, the application would benefit from additional scrutiny and discussion by the members of Northern Planning Committee.”

Subsequently the proposals have been amended. Whilst there have been amendments addressing concerns raised with regard to the listed building the objection relating to parking concerns remains.

DESCRIPTION OF SITE AND CONTEXT

The application relates to a Grade II listed former bank located on the corner of London Road and West Street in Alderley Edge. It fronts onto London Road the main route through the centre of Alderley Edge. The site is currently disused following closure of the branch of Barclays Bank. The site has a footprint of around 180 square metres. The building has three storeys plus a basement, with a small hard landscaped area to the west. It is on a prominent corner site, with a symmetrical arrangement of a pair of prominent bays and gables on the London Road frontage and a projecting clock over the pavement on the corner. The upper floors are brick with stone detailing and decorative features, with a stone facing to the ground floor. The building adjoins a cafe to the south, with other town centre uses in nearby buildings along London Road. The northern elevation comprises of three rendered gables with bays to the top floor, a mid-storey of brick with stone detailing and a stone facing to the ground floor. The building is a noticeable and significant feature within the street scene.

The west elevation is plainer of brick with simpler windows and externally mounted services and rainwater goods. There is a flat roofed windowless dormer projection on the west roof slope. This western side faces towards landscaped front gardens behind railings, serving residential properties set back from West Street. To the west are residential units, set back from the road with front garden areas bordered by metal railings.

DETAILS OF PROPOSAL

The application seeks full planning permission for the following:

- Change of use and alterations to the Ground and Basement floors to use class E(a), E(b), E(c). (Shops, restaurants and cafes, financial/professional services.)
- Change of use to four residential units on the first and second floors, with proposed glazed extension to the west elevation to house new access stairs and lift.
- Repairs to the building and clock including repairs to make the building watertight.

Revised plans/statements were received during the application process. The main changes relate to changes to the extension to the rear, with reduced scale and changes to materials.

An accompanying application for Listed Building Consent (22/4744M) appears later in the agenda.

RELEVANT PLANNING HISTORY

22/4744M - Listed building consent - Considered alongside the Full Planning application – not determined to date.

22/3676M - Listed Building Consent for removal of signage and banking facilities. Approved with conditions 04-Jan-2023

22/3675M - Removal of signage and banking facilities. Approved with conditions, 04-Jan-2023

18/6054M - Listed building consent for the installation of replacement boiler and flue. Withdrawn 07-Feb-2019

13/1293M - Listed Building Consent for Remedial works to the stonework, windows and timber doors. Replacement of existing asbestos flue. Upgrading external signage. Approved with conditions 20-May-2013

13/1285M - Planning: Replacement of existing flue at rear and installation of CCTV camera Advert: Replacement of 2no. existing individual letters and 1no. projecting sign. (Advertisement Consent). Approved with conditions, 30-May-2013

13/1284M - Planning: Replacement of existing flue at rear and installation of CCTV camera Advert: Replacement of 2no. existing individual letters and 1no. projecting sign. Approved with conditions, 30-May-2013

08/1598P - Removal of existing ATM and installation of new atm. Approved with conditions, 09-Sep-2008

01/0676P - 2 fascia signs (individual letters), 1 projecting sign and nameplate. Approved with conditions, 25-Apr-2001

01/0675P - 2 fascia signs (individual letters), 1 projecting sign and nameplate. Approved with conditions, 25-Apr-2001

00/1406P - Replacement cash machine & minor adjustment to sill level. Approved with conditions, 16-Aug-2000

70977P Antennae. Approved 01-Jul-1992

58210P - Installation of cash dispenser. Approved with conditions 31-May-1989

58124P - Installation of cash dispenser. Approved with conditions 31-May-1989

POLICIES

Cheshire East Local Plan Strategy (CELPS)

PG1 - Overall Development Strategy, Policy PG2 - Settlement Hierarchy, PG7 – Spatial Distribution of Development, , SD1 - Sustainable Development in Cheshire East, SD2 - Sustainable Development Principles, SE1 - Design, SE2 - Efficient Use of Land, SE3 - Biodiversity and Geodiversity, SE 7 Historic Environment, SE12 Pollution, Land Contamination and Land Instability, SE13 – Flood Risk Management, SC4 – Residential Mix, SC5 - Affordable Homes, IN1 - Infrastructure, IN2 - Developer Contributions, , EG 5 Promoting a town centre first approach to retail and commerce, CO1 – Sustainable Travel and Transport Appendix C Parking Standards.

Cheshire East Site Allocations Development Plan Document (SADPD)

GEN1 - Design principles, ENV 2 (Ecological Implementation), ENV7 - Climate Change, ENV12 - Air quality, ENV14 - Light pollution, ENV15 - New development and existing uses, ENV16 - Surface water management and flood risk, HER 1 Heritage Assets, HER 4 Listed Buildings, HOU 8 – Space, accessibility and wheelchair housing standards, HOU12 – Amenity, HOU 13 Residential standards, INF3 - Highways safety and access, INF6 - Protection of existing and proposed infrastructure, INF9 – Utilities, RET 1 Retail hierarchy, RET 3, Sequential and impact tests, RET 5 Restaurants, cafes, pubs and hot food takeaways. RET 7 Supporting the Vitality of town and retail centres, RET 9 Environmental improvements, public realm and design in town centres.

Alderley Edge Neighbourhood Plan

AE1 Alderley Edge Development Strategy, AE2 Design, Scale and Type of New Housing, AE3 Sustainable Housing Design, AE8 Supporting a Vibrant Village Centre, AE12 Local and Historic Character, AE13 Views and Townscape, AE17 Car Parking

Other Material Policy Considerations

National Planning Policy Framework (NPPF) 2021

National Planning Policy Guidance (NPPG)

Cheshire East Residential Design Guide

The Conservation of Habitats and Species Regulations 2017 (as amended)

CONSULTATIONS (External to Planning)

Head of Strategic Transport (CEC Highways) – No objections taking into consideration the accessibility of local services and public transport connections.

Environmental Protection (CEC) – Informatives have been requested with regards to construction works hours of operation and a site-specific dust management plan. A condition is required for the works to be in accordance with the recommendations of the submitted acoustic report.

Safeguarding authority for Manchester Airport – No objections raised, an informative is requested regarding procedures for cranes and tall equipment notifications.

Alderley Edge Parish Council –

The Parish Council provided initial comments as follows, key points are as follows:

- Recommending calling the application in to the Northern Planning Committee.
- Concerns regarding parking provision
- Impact of the initially proposed glazed extension.
- bin storage provision
- incorrect classification - A1/A2/A3 no longer valid
- building to be retained as a historic feature
- stone washing as similar historic buildings on London Road
- Would like night safe to be retained.

Following receipt of amended plans the Parish Council has been reconsulted. The Parish Council objects due to the lack of on street parking. If the planning officer is minded to approve the Parish

Council recommends a condition explicitly requiring the developer to provide a material contribution to fund any future TRO (traffic regulation order) for car parking.

OTHER REPRESENTATIONS

One objection on behalf of a local group – **The Edge Association** (summary of comments):

- Glass enclosure not in keeping
- Parking - if arrangements can be made for four parking spaces in the vicinity this part of the objection would be removed.
- Request for stone cleaning
- Request for reinstatement of night safe
- Despite objections – supportive of renovation work

OFFICER APPRAISAL

Principle of Change of Use

Alderley Edge is identified as a Local Service Centre within PG 2 of the CELPS, where small scale development to meet local needs and priorities will be supported where they contribute to the creation and maintenance of sustainable communities. The site is within a local centre boundary as identified within the adopted policies map. SADPD policy RET 1 requires that *“Development proposals should reflect the role, function and character of the relevant retail centre in the hierarchy to promote their long-term vitality and viability.”* Alderley Edge Neighbourhood Plan Policy AE1 states that new residential development will be supported within Alderley Edge village where proposals are located within the settlement boundary. The site is within Focus Area D as identified in the Alderley Edge Neighbourhood Plan (NP). The NP describes the area as follows, *‘The area covers the centre of the village with its retail and commercial uses. Development is generally denser and higher along London Road with network of small side street leading from this with terraced housing. Larger houses and lower density development beyond that, with a general leafy character, significant amount of open space, green frontages and views to The Edge.’*

The building was built as a bank and was previously used as such on the ground floor with staff area, kitchen, toilets and storage on the first floor. The second floor is largely vacant and it is noted that there is damage from water ingress. The clock and parts of the building are in need of repair.

The proposal was submitted to include change of use of the ground floor and basement to use classes A1/A2/A3. Use Class E (Commercial, Business and Service) was introduced on 1 September 2020, under the Town and Country Planning (Use Classes) (Amendment) England Regulations, an amendment to the earlier 1987 Use Classes order. Class E includes the majority of former use class A1 (shops), as well as former A2 (financial and professional services) and A3 (restaurants and cafes). The application description has been changed in accordance with the above to seek permission for the following at ground floor / basement: E(a) (retail, other than hot food), E(b) (sale of food and drink for consumption on the premises, i.e. cafes / restaurants), and E(c), (provision of financial, professional (other than health/medical) services).

The site plan indicates space for waste/recycling, set back from the pavement with some screening from planting beds. This would also serve the upper floors as well as the commercial lower floors. Under SADPD policy RET 7, in a local centre, development proposals for use class E(a) retail development will be supported in principle. In accordance with RET 5, a condition may be required for opening hours, noise, odours and fumes in the case of a use for restaurants and cafes.

The proposals include conversion of the upper two floors to form 4 one-bedroom residential apartments. The listing description includes mentions that the upper floor was originally designed to be a manager's flat. The principle of upper floor residential use in town centre is supported under RET 8, and although this is defined as a local rather than town centre, a similar case can be made for the benefit of access to facilities and services and adding to the vitality of the centre through additional surveillance and supporting the evening economy. The proposals would also bring back a vacant listed building into operation, which is in need of repair.

The conversion of an existing building from a bank and associated offices above to commercial in specific subsections of class E as specified above, with residential units on upper floors in this location is considered acceptable in principle, subject to compliance with other development plan policies.

Affordable Housing

Policy SC5 of the CELPS refers to Affordable Housing. It states that in residential developments, 30% affordable housing will be provided in developments of 15 or more dwellings (or 0.4 hectares) in Principal Towns and Key Service Centres or in developments of 11 dwellings or more (or that have a combined gross floorspace of more than 1000sqm) in Local Service Centres and all other locations. Given the scale of the development there is no affordable housing requirement for this application.

Design, Character and impact on the Heritage Asset

Policies SE 1 and SD 2 of the CELPS and GEN 1 of the SADPD between them set out design criteria for new development which is underpinned by achieving high quality design. Design matters that should be considered, include height, scale, form and grouping of development, choice of materials, external design features, massing of development and impact upon the street scene. CELPS Policy SE 7 supports proposals which do not cause harm to or better reveal the significance of heritage assets. SADPD policy HER 4, in line with NPPF paragraph 16, requires the Council to have special regard to the desirability of preserving listed buildings, their settings and features of special architectural or historic interest that it possesses. Also relevant are policies AE2, AE3 and AE 12 of the Alderley Edge Neighbourhood Plan and chapters 12 and 16 of the NPPF.

The site is a Grade II Listed Building. The building was designed as a bank by architect Percy Scott Worthington, for the Union Bank of Manchester Limited, dated to 1904. The list description describes the building as follows:

“Partly ashlar buff sandstone, partly red brick. Stone-slate roof and stone ridge. Jacobean style. 3-storey symmetrical 3-bay front. End bays have curving bay windows with 5-light mullioned

and transomed windows on the first 2 storeys and a 4-light mullioned and transomed windows in stone coped and ornately finialled gables. Central semi-circular headed ovolo moulded doorcase with company arms and motto under pediment above. Just below eaves is date and decorative lead guttering. On corner of West Street is carved stone bracket supporting clock. West Street front is of 3 storeys with a triple stuccoed gable each containing a bowed oriel with some blue and cream terracotta work. Mullioned and transomed windows on ground storey and mullioned windows on 1st."

The front and flank elevation remains largely intact, there has been a degree of change at the rear. On the ground floor, there is a high degree of survival of the of the original banking hall ceiling which was previously concealed above a suspended ceiling, and this should be integrated into the internal fit out. At basement level over half of the original tiling and cellar plan survives, along with a mid-20th century vault door, again these elements should be retained. The night safe has been removed subject to a previous application and therefore cannot be retained.

The existing internal stairwell is narrow and therefore a new stairwell is proposed. The proposal has been amended during the course of the application to remove an initially proposed glass extension to the rear, which was to contain a lift and stairs to the apartments. The has been revised to a brick extension of a smaller footprint to include a staircase only. This would not be prominent from the main thoroughfare of London Road. It is set in from the side building line on West Street and off the plainer rear elevation, on the west side of the building, towards the carpark and other buildings of lesser townscape merit. The Conservation Officer is satisfied that the amended addition is of an appropriate scale and design to appear as subservient to the host building, and the provision of an external staircase will assist with the restoration of the interior to the building and return it to an active use at all floor levels, after a long period of decline.

An initially proposed mezzanine has also been removed from the proposals following feedback from the Conservation Officer who had raised concerns over the limited information and potential impact on roof structure and cornice features. In the event that the application is approved, the following conditions are recommended:

- A sample panel of brickwork to be approved prior to commencement. This panel would be required to demonstrate the proposed colour, texture, facebond and pointing, and to remain on site until the work is completed.
- Making good of existing fabric both internal and external to match existing adjacent fabric
- Restoration of the banking hall ceiling in accordance with a detailed schedule of work, to be approved prior to works commencing on the ground floor.
- Schedule of repairs for the roof, attic space, dormers, upper ceilings and walls, prior to works commencing on the relevant part of the development.
- Retention of the external clock and schedule of repairs
- Details of retention of basement features/tiles.
- Details of windows and doors, secondary glazing to submitted to a scale of not less than 1:20
- Details of proposed ventilation system including details of vents/grills positions, size and method of installation.
- No external cleaning of the facades without agreement in writing with the LPA of a detailed specification/methodology.

Any new signage for a new business at ground floor would be subject to separate advertisement consent and listed building consent which must be obtained prior to installation of signage in the interest of protecting historic fabric and appropriate visual appearance.

The proposals would secure the future use of an empty listed building. Subject to conditions, it is considered that the amended proposed works would be acceptable in terms of the impact on the listed building, and the wider character of the area. The two key prominent facades would be retained and reinstatement of the previously hidden banking hall ceiling would be a significant benefit. The proposal as amended would overall retain this historic significance of the listed building, subject to matters discussed below.

Living Conditions

CELPs Policy SE1 states that development should ensure an appropriate level of privacy for new and existing residential properties. Policy HOU12 of the SADPD states development proposals must not cause unacceptable harm to the amenities of adjoining or nearby occupiers of residential properties, sensitive users or future occupiers of the proposed development due to loss of privacy; loss of sunlight and daylight; the overbearing and dominating effect of new buildings; environmental disturbance or pollution; or traffic generation, access and parking. HOU 13 along with table 8.2 provides minimum separation distances. Policy HOU 8 requires new residential development to meet the Nationally Described Space Standards.

There are residential properties fronting West Street close to the application site. The addition of the stairwell extension would be within a recessed area of the site, positioned and scaled such that it would not conflict with separation distances within HOU 13 and Table 8.2 of this policy, and would not result in an overbearing impact or affect natural light to adjacent properties. There would be no windows to the rear of the extension and no overlooking concerns from new windows proposed on the rear elevation. As such it is not considered to present harm to neighbouring residential amenity. Parking matters are considered in the highways and access section below.

Nationally Described Space Standard requires a one-bedroom unit to have a minimum gross internal floor area of 39 sqm (or 37sqm where a shower room is provided rather than bathroom), and 50sqm for a two-person, one bedroom unit. The table below demonstrates how the proposed units would comply with required floor areas. All measurements are in square metres and are approximate.

	NDSS minimum (1 person, 1 bedroom)	NDSS minimum (2 person, 1 bedroom)	Apartmt 1	Apartmt 2	Apartmt 3	Apartmt 4
Internal Floor space	39 (37)	50	52	50	53	54
Bedroom area	7.5 (single bedspace)	11.5 (double or twin bedspace)	10	11	11.4	13
Built in storage	1	1.5	2	2	2.5	2

The four units would each be acceptable for one-bedroom dwellings, under the Nationally Described Space Standard, taking into consideration the overall gross internal floor areas, storage requirements and bedroom sizes.

The bedroom windows to two of the apartments on the west elevation are located approximately 5m from the side elevation of the neighbour on West Street. This is a significant shortfall in the separation distances outlined in policy HOU13 of the SADPD. These windows are also framed by an existing building to the south and the new staircase extension to the north. Their outlook would therefore be compromised by existing buildings, and the staircase extension. The second-floor window would have some outlook above the adjacent buildings, but for the first-floor bedroom this would be very limited. As a result, there is conflict with policies HOU 12 and 13 of the SADPD.

Highways and Access

Policy CO1 of the CELPS considers matters of highway safety. Appendix C of the Cheshire East Local Plan identifies minimum Parking Standards for residential development in Principal Towns and Key Service Centres and for the remainder of the borough. Appendix C states that the identified parking standards will only apply where there is clear and compelling justification that it is necessary to manage the road network. Policy INF3 of the SADPD refers to highway safety and access, stating development should provide safe access to and from the site for all highway users.

The site is within a Local Service Centre as identified in the CELPS, with good accessibility to local services. The site is approximately 0.2 miles from Alderley Edge train station with connections to Manchester Piccadilly, Manchester Airport and Crewe. London Road is on a bus route (130) which leads to Macclesfield, Alderley Park, Wilmslow, Handforth and Manchester Airport.

Due to site constraints, there is no potential for off street parking within the site. There is restricted parking on nearby streets and a carpark on South Street. The Highways consultee raises no objections with regards to the proposed commercial use on the ground floor, given the high street location.

In terms of the residential requirements, CEC parking standards would require one space per apartment. The building is currently not in use but has previously been a bank with offices on upper floors. As such even without a change of use application it could be put back into a permitted use which would create a demand for parking beyond that of the existing or the proposed.

The Highways consultee has assessed the proposals, and noted that there is some on street parking available after 6pm. The proposal also includes on site cycle storage, details of which can be conditioned. Taking into account the location with access to local services and transport links no objection has been raised by CEC Highways.

Parking issues was one of the reasons why the application was called in by the Ward Member. The Parish Council has requested that in the case of an approval that a condition be added for the developer to provide a material contribution to fund any future traffic regulation order for car

parking. It is acknowledged that on street parking is limited in the area, however no objection has been raised in the Highways officer's assessment, based on the proposal without additional parking arrangements. Having regard to these comments and the location of the site, being in very close proximity to the railway station and bus stops, the proposal is considered to be acceptable in highways terms.

Noise

Under SE 12 of the CELPS seeks for development to be located and designed so as not to result in a harmful or cumulative impact on noise among other criteria. The policy includes that development for new housing or other sensitive development will not normally be permitted where noise levels are unacceptable unless there is no reasonable prospect that these can be mitigated against. Following an initial objection from the Environmental Protection team regarding the potential impact from road traffic, the railway line and retail units, and acoustic report was submitted in support of the proposal. The report's methodology, conclusion and recommendations are accepted and a condition is recommended for the suggested mitigation within the report to be implemented. As the building is listed details of ventilation will be required for approval prior to installation.

Nature Conservation

CELPs policy SE 3 requires that development must aim to positively contribute to the conservation and enhancement of biodiversity and geodiversity and not negatively affect these interests. Development proposals which are likely to have a significant adverse impact on legally protected species will not be permitted except where the reasons for or the benefits of the proposed development outweigh the impact of the development. Policy ENV 2 of the SADPD is also relevant.

Paragraph 180 of the NPPF requires local planning authorities when determining planning applications to apply principles including that if significant harm to biodiversity resulting from a development cannot be avoided, adequately mitigates or as a last resort compensated for, then planning permission should be refused.

The initial proposal included mezzanine accommodation within the roof space. Additional works to the roof and roofspaces are listed within the submission. The Nature Conservation requested a bat survey due to the potential for works to the roof resulting in disturbance on roosting bats, a European Protected Species. All species of bats are protected under the Conservation of Habitats and Species Regulations 2017 and the Council is required to ensure compliance with the regulations in carrying out planning control duties. In accordance with current legal circular the survey work to establish the presence or absence of a protected species such as bats, should be carried out prior to any planning consent being granted.

The agent has advised that a survey was undertaken but that due to the amendments to the scheme having less impact on the roof voids that a report has not been completed. It is understood that some initial urgent repair works have taken place to the roof. However, there are still works that would be required to implement the scheme which could have an impact on the roofspace. Renovating and converting a building are included in a list of activities that can affect bats in government guidance "Bats: protection and licences". There was evidence during the site visit of water ingress and repairs needed to dormers. There are roof works listed within

the submitted revised documents. The Conservation Officer has requested details by condition of works including to the roof, roof void, upper ceilings and dormers prior to commencement of works to the relevant part. The Nature Conservation Officer is of the view, from a photograph of the roof, that there appear to be gaps big enough for a bat to get into the roof space. As a bat survey has not been provided, the presence of bats, or whether the proposal could adversely affect them cannot be ruled out. As such it has not been demonstrated that the proposals would comply with the Habitat Regulations.

There is insufficient information to confirm whether or not the building has bat roost potential, and to assess whether the proposed works are likely to have any impact on bats if a roost is present. Therefore, the application is not considered to be compliant with policy SE3 of the Cheshire East Local Plan Strategy, ENV 2 of the SADPD and chapter 15 of the NPPF.

Other Matters

Manchester Airport has raised no objection to the change of use. An informative has been provided with a link to the procedures for crane and tall equipment notifications.

The site is within Flood Zone 1 where there is a low risk of flooding. United Utilities have been consulted but no response has been received. The site is an existing building with existing sanitation facilities within an urban area where services are available and as such it is considered acceptable in terms of impact on the wider drainage and water infrastructure.

Planning Balance

The proposed development for the change of use is acceptable in principle in this location and the proposal as amended raises no issues with regards to the impact on neighbouring amenity.

The benefits in this case include securing the reuse and repair of a listed building that is currently vacant, maintaining the vitality of the main high street of Alderley Edge, and the provision of 4 additional residential units which would make a small contribution to the housing land supply. The conversion of the building would also bring the usual economic benefit to the local shops and services for the duration of the construction and would potentially provide local employment opportunities in construction and the wider economic benefits to the construction industry supply chain. There would be an economic benefit to local services longer term by virtue of new residents spending money in the area, and through employment and the supply chain to support the services provided in the uses in the lower floors, although this is balanced against the previous uses which would have also had economic benefits. Overall it is considered that there would be a gain in economic benefit to the area from the proposals, although limited. These factors are considered to carry moderate to substantial weight in favour of the proposal.

There are however factors which weigh against the proposal, which include the lack of evidence to confirm whether or not the proposals would have an impact on a protected species. As this relates to a protected species, substantial weight is afforded to this harm. The shortfall in separation distance from the side elevation of the neighbour on West Street to west elevation bedroom windows serving the proposed apartments, and conflict with policies HOU12 and HOU13 also attracts moderate to substantial weight against the proposal.

The benefits of the reuse and repair of the listed building are acknowledged, but due to the specific policy conflict relating to protected species and living conditions of future occupiers, and the Council's duties with regard to protected species overall it is considered that the benefits identified would not overcome the specific harm in this case.

CONCLUSION

The proposed development for the change of use is acceptable in principle in this location and the proposal as amended raises no issues with regards to the impact on neighbouring amenity. The amendments are acceptable in impact on the listed building subject to conditions. Issues relating to carparking have been raised by the parish council, however it is considered on balance due to the accessibility of local services and transport connections and with no objection raised by the Highways consultee it is considered that the impact on parking and the local highways network would not justify a refusal. The proposal however has not been supported by a bat survey to confirm whether or not there is potential for a bat roost. Given that there is likely to be works which could result in disturbance of the roof voids there is insufficient evidence to confirm that there would not be a conflict with policies SE 3 of the Cheshire East Local Plan, ENV2 of the Site Allocations and Development Policies Document and chapter 15 of the National Planning Policy Framework. In addition, the separation distance between west facing bedroom windows and the neighbouring property falls well below the recommended distances in the local plan, which will be to the detriment of future occupiers. The proposal is therefore also contrary to policies HOU12 and HOU13 of the SADPD. Given that the benefits in this case do not outweigh the identified harm, a recommendation of refusal is made.

RECOMMENDATION:

Refuse for the following reasons:

- 1. The proposal includes works to convert and renovate a disused building which is identified in government guidance "Bats: protection and licences" as an activity which can affect bats. The lack of evidence to establish the presence of, and no adverse impact on, any potential bat species results in insufficient information to demonstrate compliance with policies SE3 of the Cheshire East Local Plan Strategy, policy ENV2 of the Site Allocations and Development Policies Document, Chapter 15 of the National Planning Policy Framework, and The Conservation of Habitats and Species Regulations 2017 (as amended).**
- 2. The position of habitable room windows on the proposed west elevation of the building, in relation to adjoining buildings and the proposed extension, would result in substandard living conditions for future occupiers of the property in conflict with policies HOU12 and HOU13 of the Site Allocations and Development Policies Document.**

In order to give proper effect to the Committee's intentions and without changing the substance of the decision, authority is delegated to the Head of Planning in consultation with the Chairman

(or in his absence the Vice Chair) of Northern Planning Committee to correct any technical slip or omission in the wording of the resolution, between approval of the minutes and issue of the decision notice.



22/4743M & 22/4744M

22 LONDON ROAD,

ALDERLEY EDGE,

WILMSLOW,

SK9 7JS

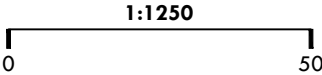
PROJECT
Barclays Bank
SITE ADDRESS
22 London Road
Alderley Edge
SK9 7DZ

DRAWING
Location Plan

PROJECT NO. 9021
DWG NO. EX-001
REV NO. -
SCALE @ A3 1:1250
DRAWN BY -LF
CHECKED BY -MAL

P L A N N I N G

REV	DESCRIPTION	INTL	CHK	DATE
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-	-	-	-	-
-	-	-	-	-



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PROJECT
Barclays Bank

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22 London Road
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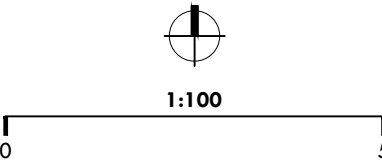
DRAWING
Proposed site plan

PROJECT NO. 9021	DWG NO. P-001	REV NO. C	SCALE @ A3 1:100
DRAWN BY -LF	CHECKED BY -MAL		

P L A N N I N G

REV	DESCRIPTION	INTL	CHK	DATE
A	Revised design	MM	MM	21.04.23
B	Reduced glazing	MM	MM	11.05.23
C	Amendments to elevations	MM	MM	14.06.23
-	-	-	-	-

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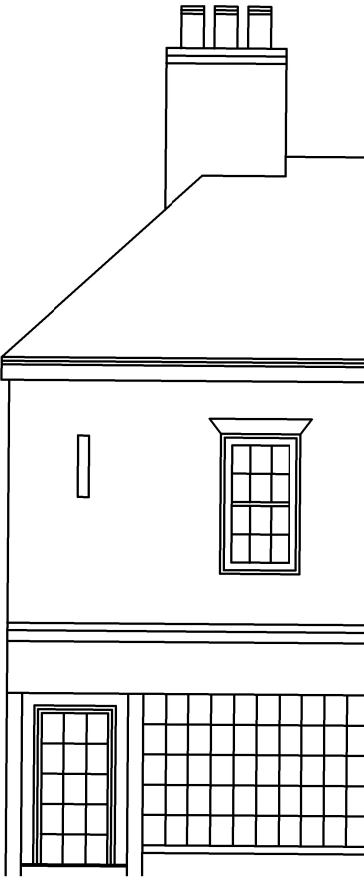
PROJECT
Barclays Bank
SITE ADDRESS
22 London Road
Alderley Edge
SK9 7DZ

DRAWING
Existing contextual elevations

PROJECT NO.	DWG NO.	REV NO.	SCALE @ A3
9021	EX-200	-	1:100
DRAWN BY	CHECKED BY		
-LF	-MAL		

PLANNING

REV	DESCRIPTION	INTL	CHK	DATE
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PROJECT
Barclays Bank

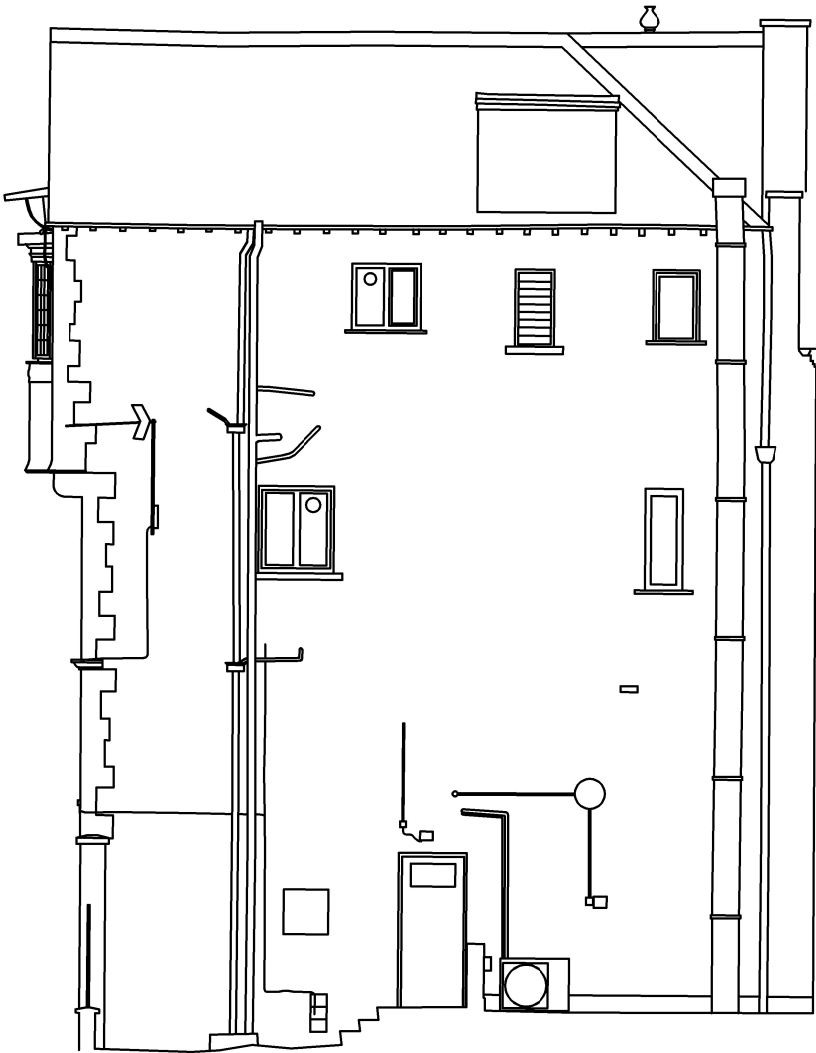
SITE ADDRESS
22 London Road
Alderley Edge
SK9 7DZ

DRAWING
Existing rear elevation

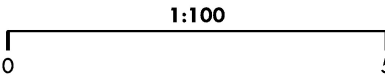
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DRAWN BY -LF		CHECKED BY -MAL	

P L A N N I N G

REV	DESCRIPTION	INTL	CHK	DATE
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Rear elevation



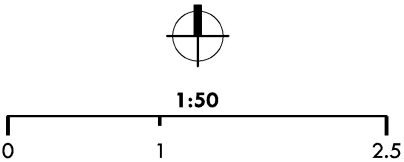
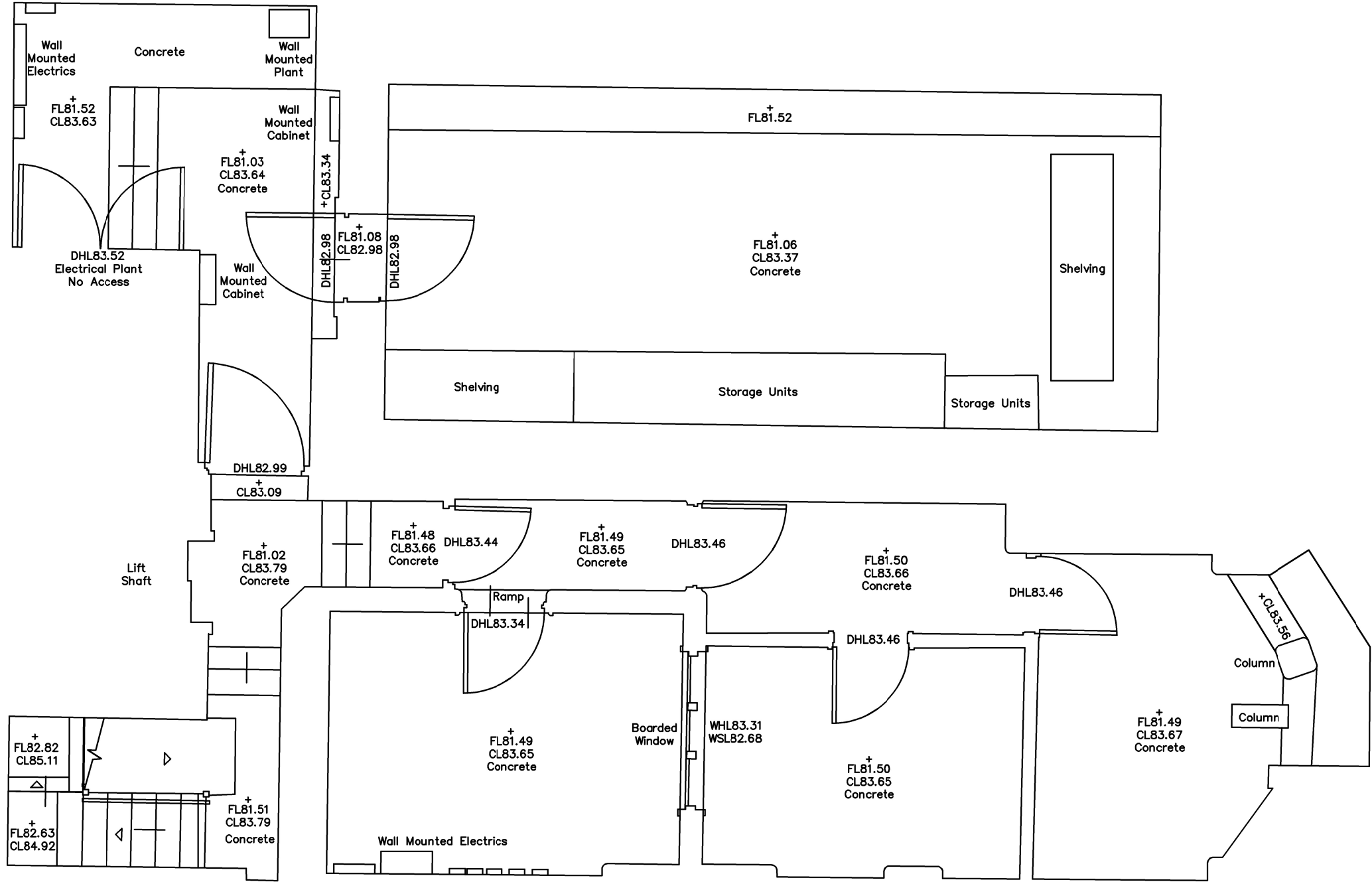
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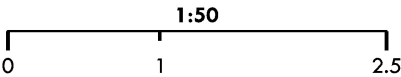
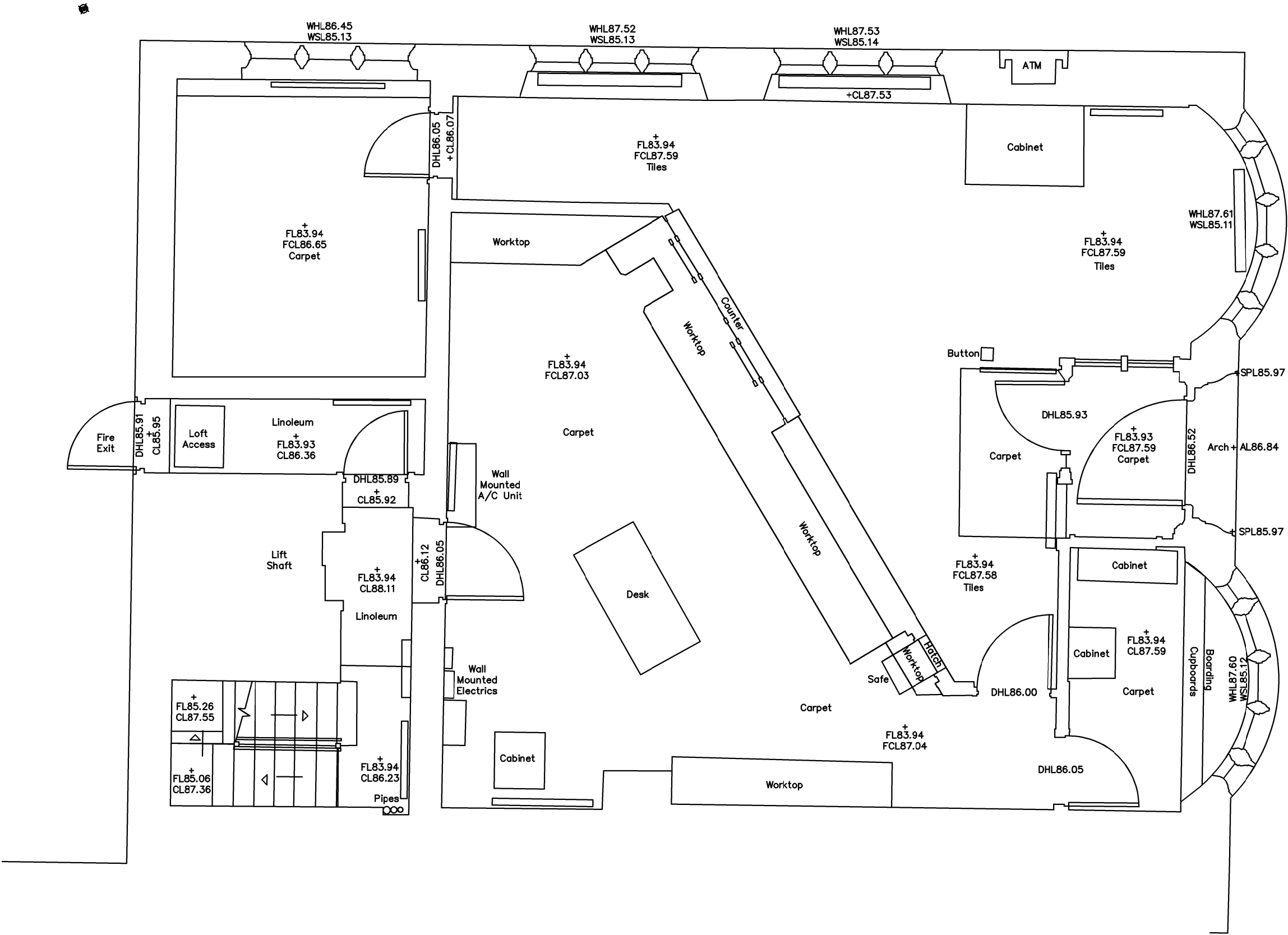
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PLANNING

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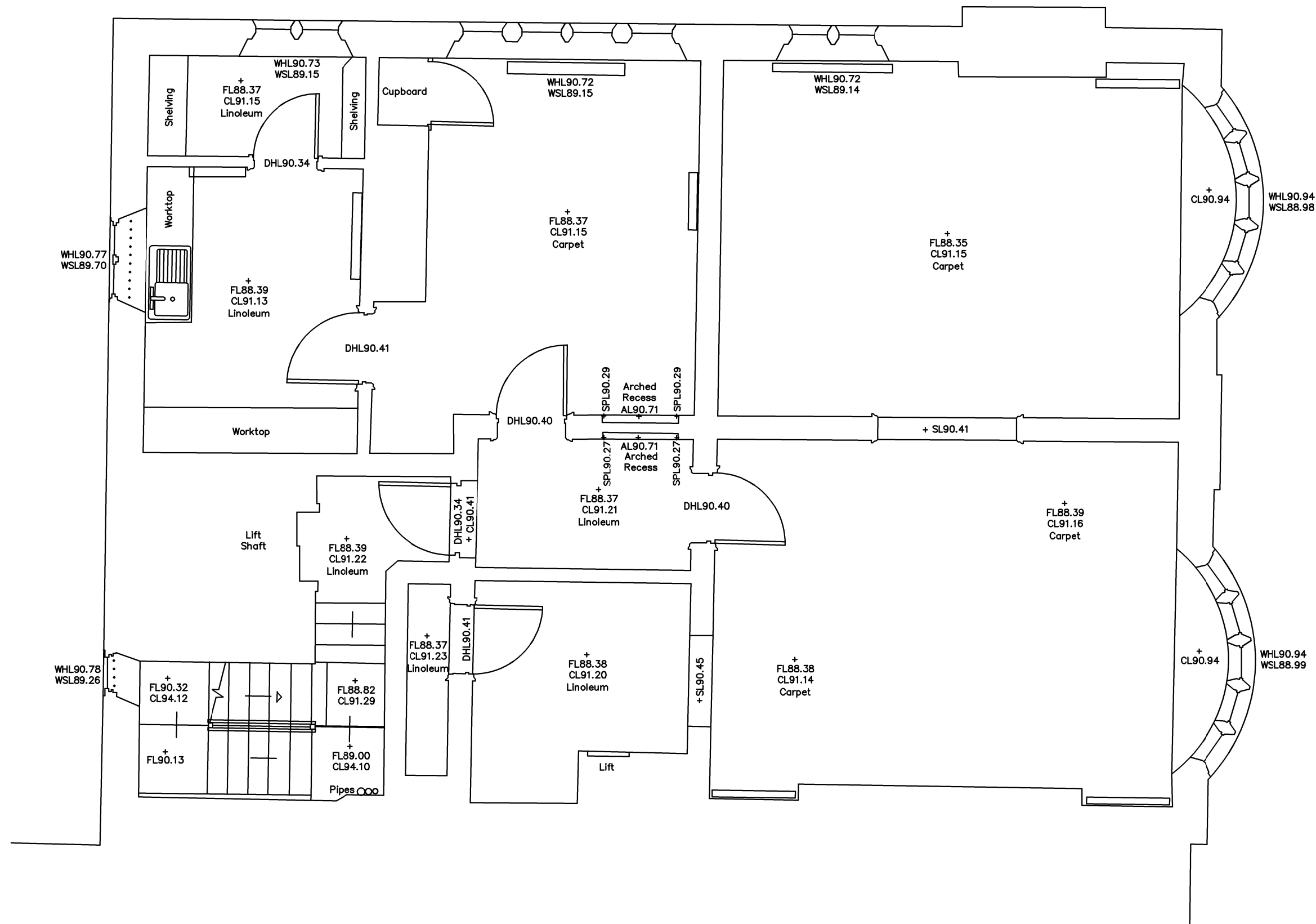
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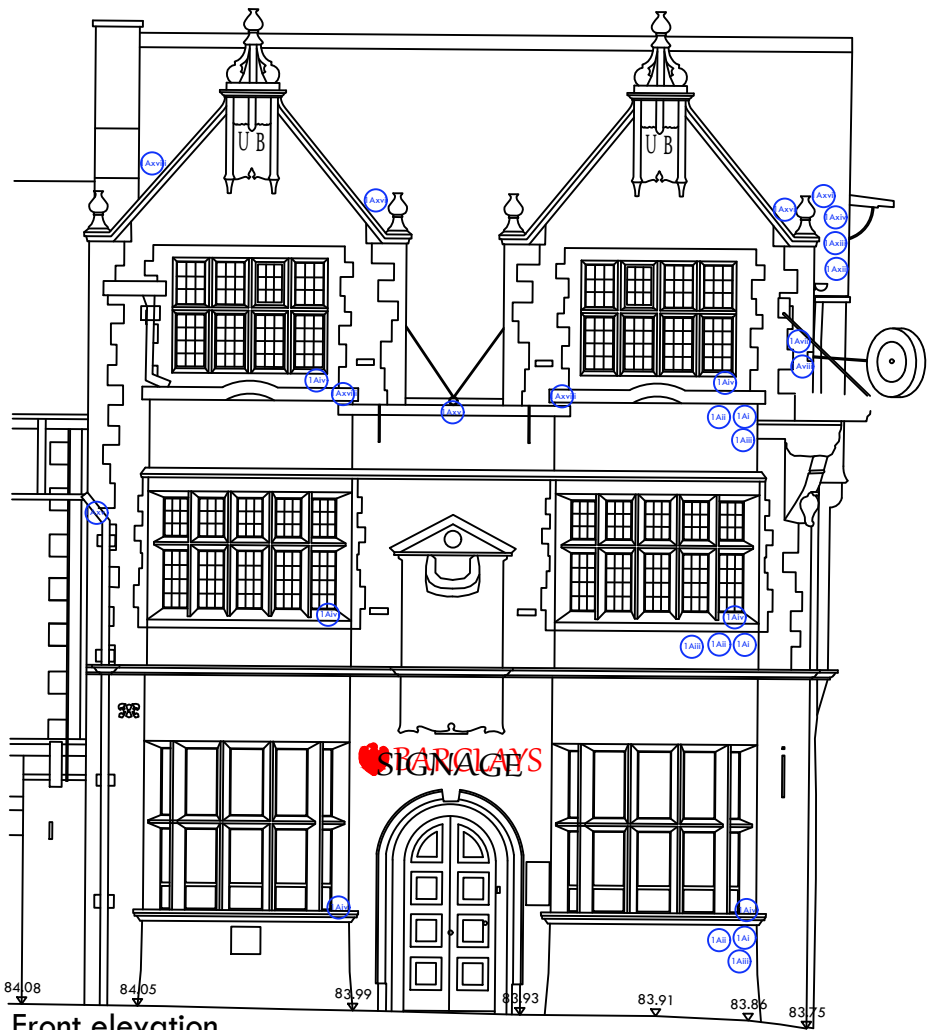
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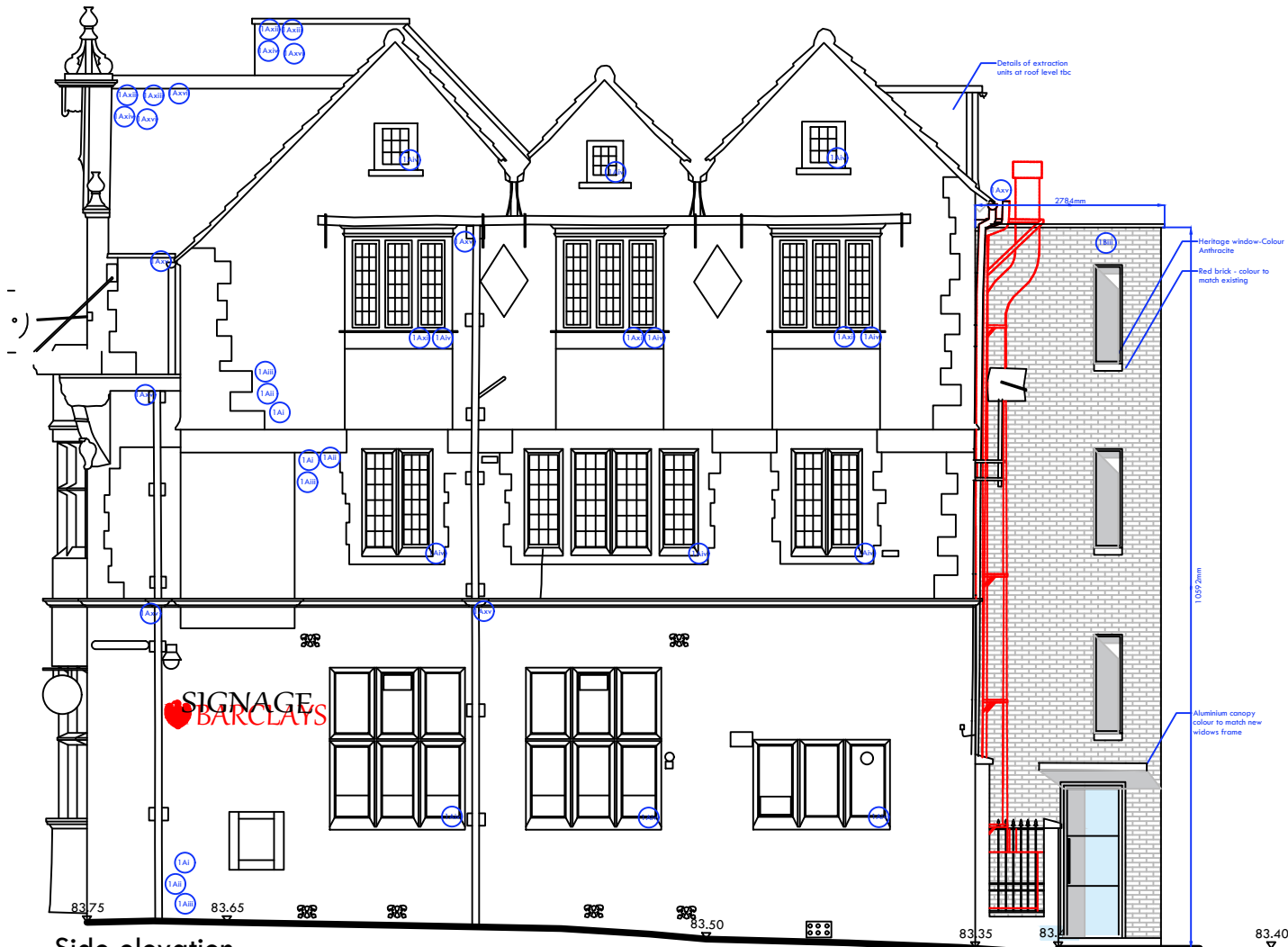
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A horizontal number line with tick marks at 0, 1, and 2.5. The line is labeled with these numbers below the tick marks.



Front elevation



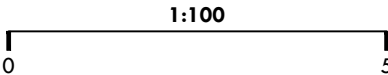
Side elevation

1. External	
A.	Refurbishment
i.	Repair existing walls where required with minor repointing of eroded joints required with lime-mortar based. Bricks can be carefully removed and reversed to hide the decay.
ii.	Clean bricks from water ingress signs where required and reverse cracked bricks.
iii.	Repair wall cracking by replacing bricks of the same colour and quality and re-mortar with suitable lime-based mortar.
iv.	Carefully remove all friable loose surfaces from window plinths.
v.	Clean plinths below windows.
vi.	Existing grilles and mesh and fixings to be removed from the window openings and any holes to be made good with a lime-based mortar.
vii.	Repair and reinforce and tie the wall near the clock to SE recommendations.
viii.	Replace to its original state timber support to the clock.
ix.	Repair timber fascia located centrally to the building.
X	Strengthen second floor cantilever structure to SE recommendations.
Xi	Clean and re-instate original tiles below 2 nd -floor windows.
Xii.	Brush off excessive moss from the roof and sprayed with anti-fungal
Xiii.	Broken roof slates to be replaced and refixed with copper wire, but if they are heavier should be nailed or pegged. New slates should match original. Isolated tiles can be resecured by hooking the pegs over the battens.
Xiv.	Ridge and hip tiles can be embedded in lime mortar. In case of split or hole lead, replace by using a matching flashing wedged and pointed above the original with soft lime mortar. If there is a vertical split replace with a short length segment.
Xv.	Clean gutters and rainwater pipes provide plastic leaf guards to gutters and wire balloons above downpipes. Prepare surface by removing old rust and paint and redecorate with a solvent base system, such as an epoxy phosphate primer and acrylic urethane gloss.
Xvi.	Repair side wall slates on roof dormers.
Xvii.	Clean moss and overgrown vegetation from the ground of the rear yard.
Xviii.	Clean moss from the balcony outside the windows.
XiX.	Remove aerial if not required.
B.	Conversion
i.	Remove parts of the rear wall for access on the first and second floor.
ii.	Remove lift , associated walls and staircase as indicated
iii.	New brick on the staircase to match existing and windows to be heritage style.
iv.	Remove the fire exit door and steps from the rear side.
v.	Remove external flue and repair opening from the basement.
vi.	Remove vents coming from the basement to the circulation area (to be investigated internally).
vii.	Remove stepped level coming from the basement to the circulation area (to be investigated internally).
viii.	Excavate for foundations to SE suggestion.
ix.	Secondary windows to be installed.
x.	New heritage style window to be installed to the rear wall and the staircase
2. Existing Internal	
A.	Refurbishment
i.	Flaking plasterwork to be removed and walls to be made good to receive a lime mortar-based plaster and a breathable based paint. Widen cracks prior to fill with the same plaster. If areas of plaster become powdery consolidation techniques should be used. Flaky paintwork to be removed but the rest should be left undisturbed. New paint can be to the original standard, assume lime-wash with alkali-resistant pigments of colour.
ii.	Remove furniture and fittings.
iii.	The roof void is to be checked for defects and repaired as per surveyors' recommendations.
iv.	Re-instate damaged original skirting board and re-paint with breathable mineral paint.
v.	Re-instate damaged original coving on the second floor from water ingress through the roof.
vi.	Repair damaged windows.
vii.	Remove later fixings on walls and repair walls.
viii.	Repair or replace to exact specification internal window ledges where required.
ix.	Remove toilets and kitchen facilities and repair associated existing surfaces.
X.	Remove existing floor coverings and replace them with new ones.
Xi.	Remove suspended ceilings and re-instate original ceiling on ground floor..
Xii.	Remove stud walls and new partitions.
Xiii.	Re-instate original walls.
B.	Conversion
i.	Remove existing electrical wires.
ii.	Remove wall paper from the ceiling
iii.	Remove the old fire/ smoke sensor and replace it with a new one that suits the proposal.
iv.	Reposition fire exit signs.
v.	Re-instate cupboards under roof valleys.
vi.	Clock mechanism to be replaced with a new one and to be repositioned to an accessible location.
vii.	Remove later added heating pipes.
viii.	New walls attached to existing original walls to be lightly fixed, so that works are reversible in the future.

P L A N N I N G

REV	DESCRIPTION	INTL	CHK	DATE
A	Revised design	MM	MM	21.04.23
B	Reduced glazing	MM	MM	11.05.23
C	Increased window sizes	MM	MM	16.05.23
D	Extractor note added	MM	MM	21.06.23

Demolished



PROJECT
Barclays Bank
SITE ADDRESS
22 London Road
Alderley Edge
SK9 7DZ

DRAWING
Proposed Side Colour Elevation
PROJECT NO. 9021 DWG NO. P-203 REV NO. - SCALE @ A3 1:100
DRAWN BY -LF CHECKED BY -MAL

PLANNING

REV	DESCRIPTION	INTL	CHK	DATE
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West street elevation



1:100

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PROJECT
Barclays Bank
SITE ADDRESS
22 London Road
Alderley Edge
SK9 7DZ

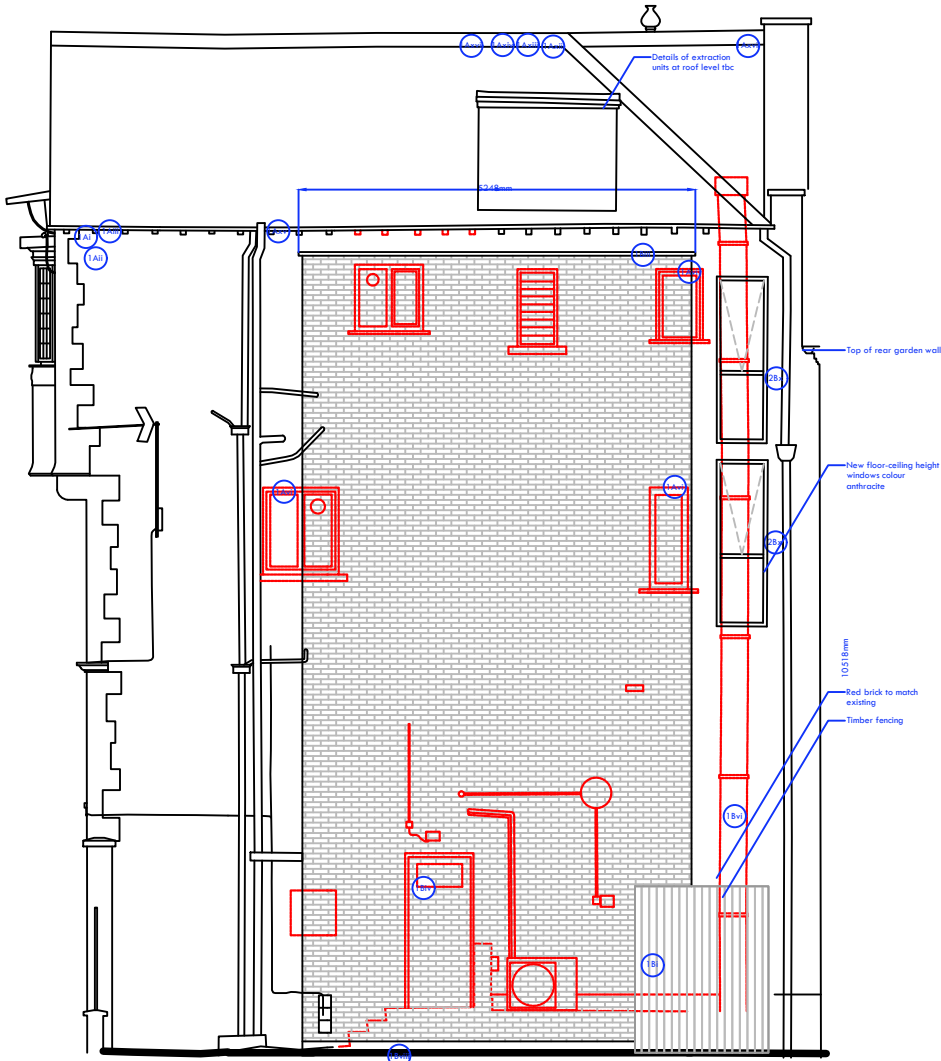
DRAWING
Proposed rear elevation

PROJECT NO. 9021 DWG NO. P-202 REV NO. D SCALE @ A3 1:100
DRAWN BY -LF CHECKED BY -MAL

P L A N N I N G

REV	DESCRIPTION	INTL	CHK	DATE
A	Revised design	MM	MM	21.04.23
B	Reduced glazing	MM	MM	11.05.23
C	Amendments to elevations	MM	MM	14.06.23
D	Extractor note added	MM	MM	21.06.23

Demolished

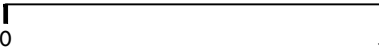


Rear elevation

1. External	
A.	Refurbishment
i.	Repair existing walls where required with minor repointing of eroded joints required with lime-mortar based. Bricks can be carefully removed and reversed to hide the decay.
ii.	Clean bricks from water ingress signs where required and reverse cracked bricks.
iii.	Repair wall cracking by replacing bricks of the same colour and quality and re-mortar with suitable lime-based mortar.
iv.	Carefully remove all friable loose surfaces from window plinths.
v.	Clean plinths below windows.
vi.	Existing grilles and mesh and fixings to be removed from the window openings and any holes to be made good with a lime-based mortar.
vii.	Repair and reinforce and tie the wall near the clock to SE recommendations.
viii.	Replace to its original state timber support to the clock.
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Xi	Clean and re-instate original tiles below 2 nd -floor windows.
Xii.	Brush off excessive moss from the roof and sprayed with anti-fungal
Xiii.	Broken roof slates to be replaced and refixed with copper wire, but if they are heavier should be nailed or pegged. New slates should match original. Isolated tiles can be resecured by hooking the pegs over the battens.
Xiv.	Ridge and hip tiles can be embedded in lime mortar. In case of split or hole lead, replace by using a matching flashing wedged and pointed above the original with soft lime mortar. If there is a vertical split replace with a short length segment.
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Xvi.	Repair side wall slates on roof dormers.
Xvii.	Clean moss and overgrown vegetation from the ground of the rear yard.
Xviii.	Clean moss from the balcony outside the windows.
XiX.	Remove aerial if not required.
B.	Conversion
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ii.	Remove lift , associated walls and staircase as indicated
iii.	New brick on the staircase to match existing and windows to be heritage style.
iv.	Remove the fire exit door and steps from the rear side.
v.	Remove external flue and repair opening from the basement.
vi.	Remove vents coming from the basement to the circulation area (to be investigated internally).
vii.	Remove stepped level coming from the basement to the circulation area (to be investigated internally).
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Xii.	Remove stud walls and new partitions.
Xiii.	Re-instate original walls.
B.	Conversion
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ii.	Remove wall paper from the ceiling
iii.	Remove the old fire/ smoke sensor and replace it with a new one that suits the proposal.
iv.	Reposition fire exit signs.
v.	Re-instate cupboards under roof valleys.
vi.	Clock mechanism to be replaced with a new one and to be repositioned to an accessible location.
vii.	Remove later added heating pipes.
viii.	New walls attached to existing original walls to be lightly fixed, so that works are reversible in the future.



1:100



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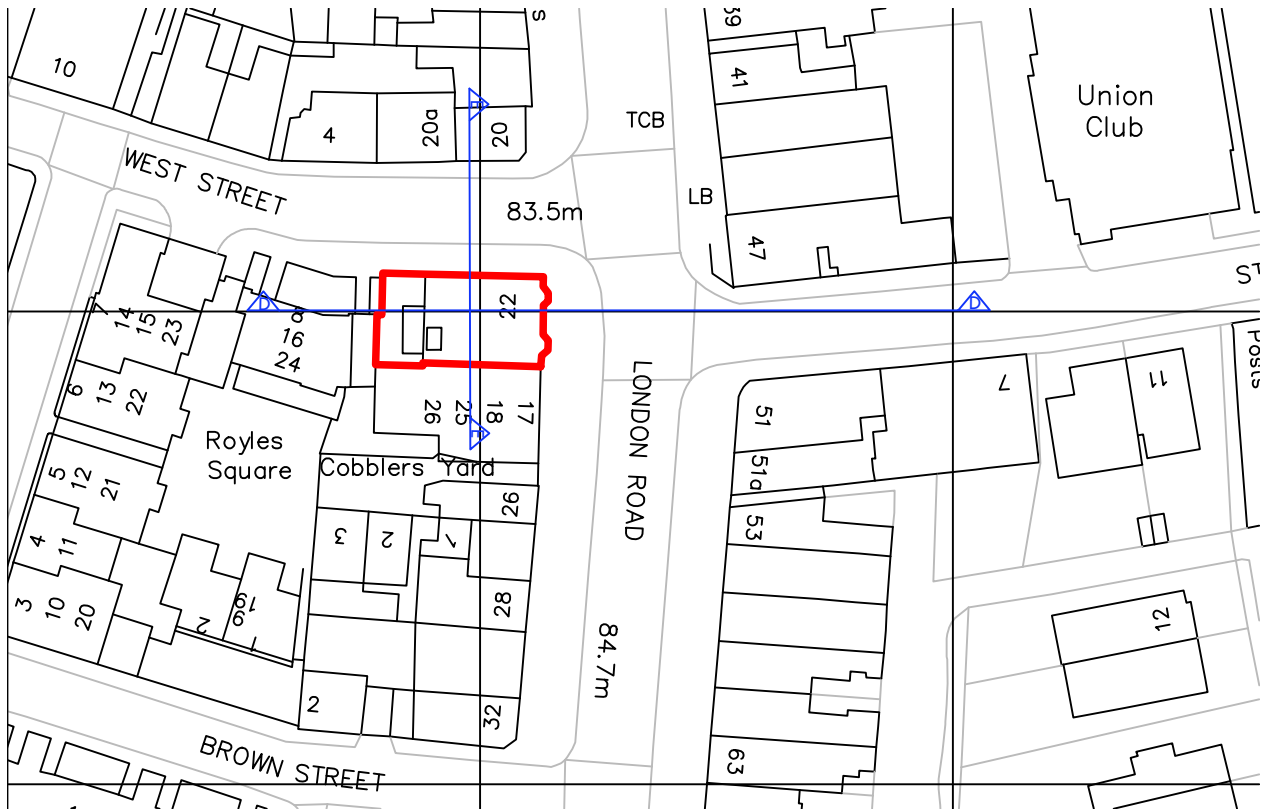
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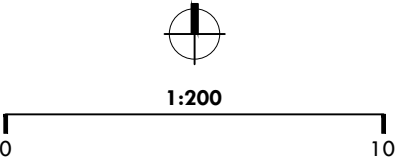
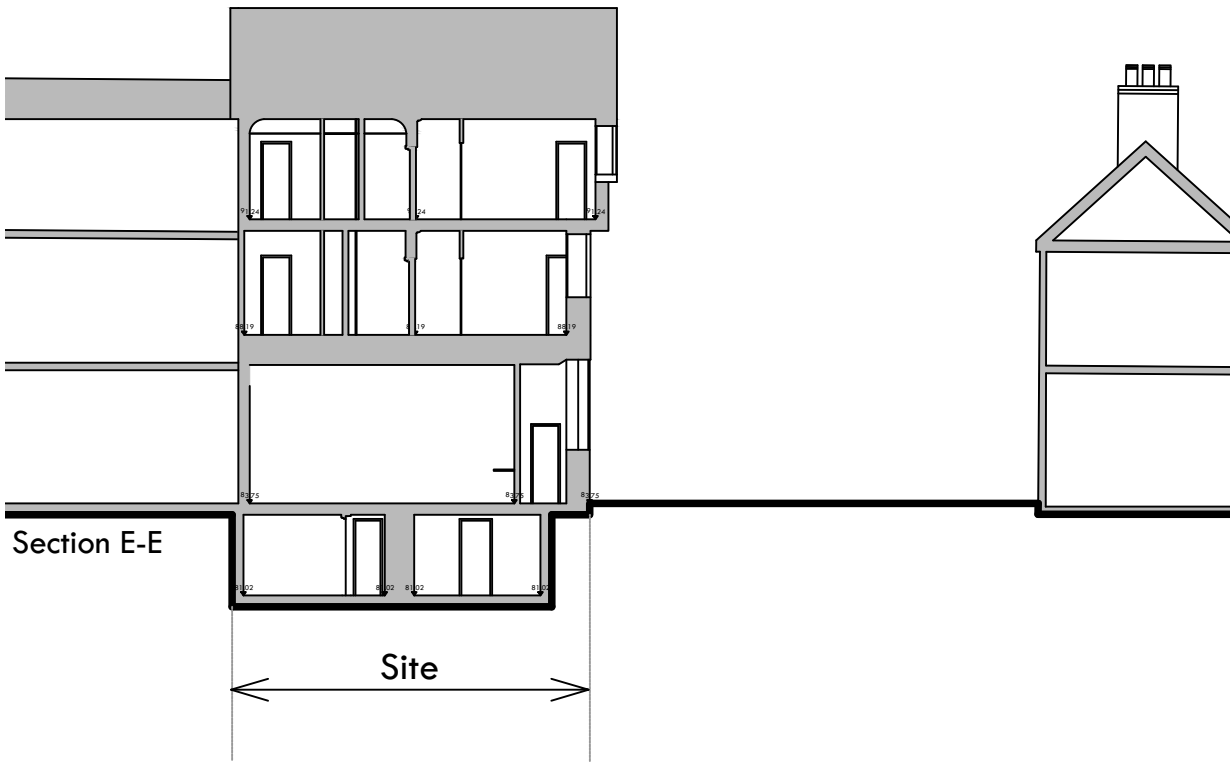
Chartered Practice
Architects
Registration
Board

PLANNING

REV	DESCRIPTION	INTL	CHK	DATE
A	Amendments to elevations	MM	MM	14.06.23
-	-	-	-	-
-	-	-	-	-



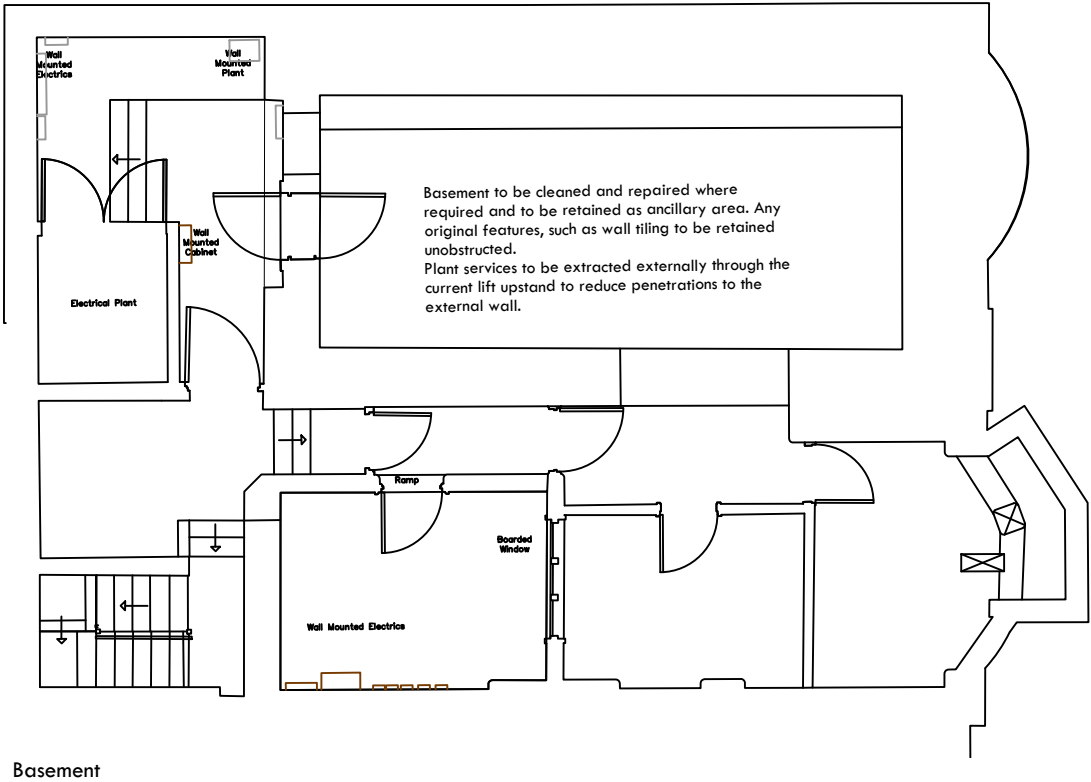
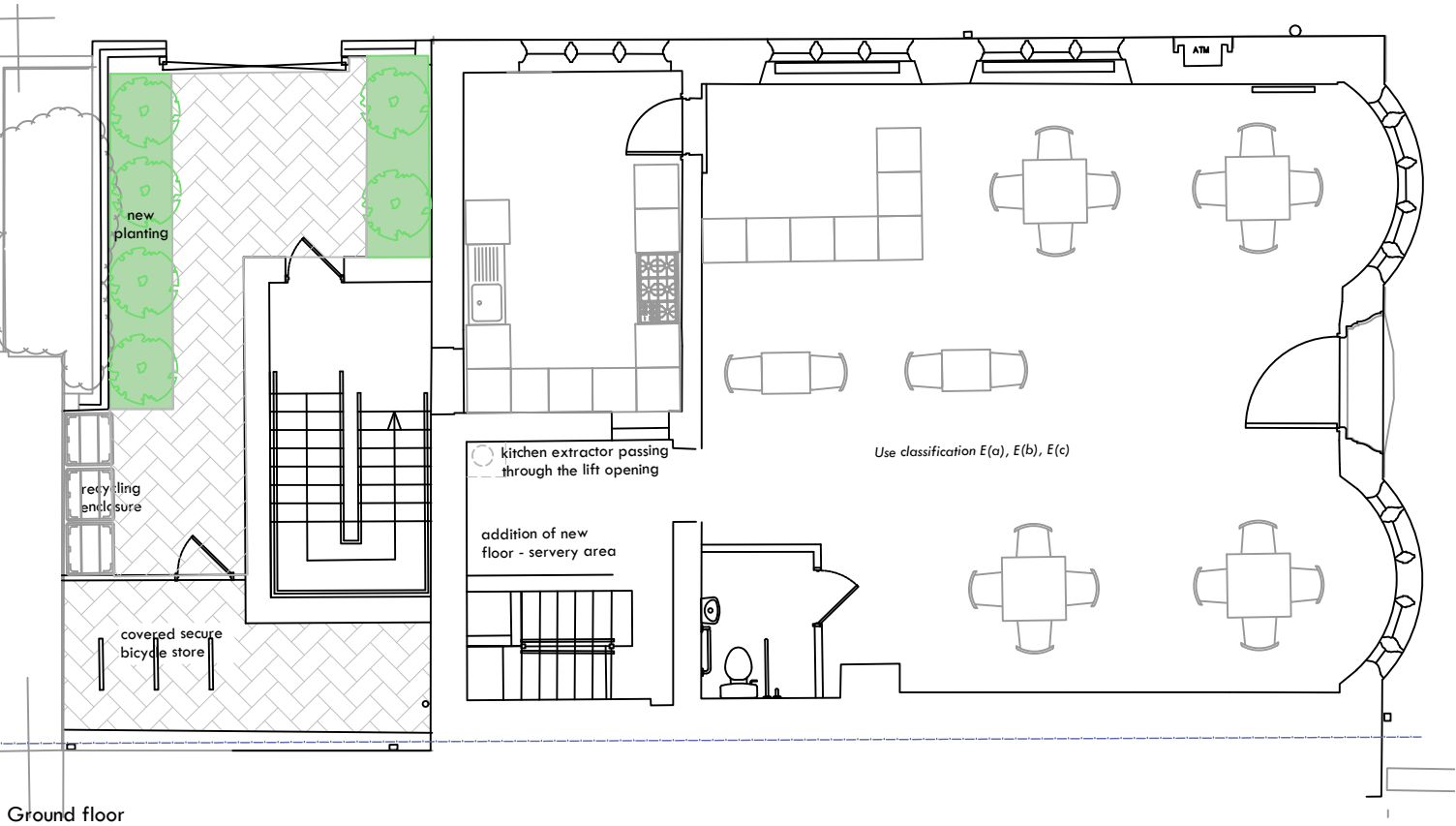
1:500 Key plan



P L A N N I N G

REV	DESCRIPTION	INTL	CHK	DATE
A	Revised design	MM	MM	21.04.23
B	Reduced glazing	MM	MM	11.05.23
C	Amendments to elevations	MM	MM	14.06.23

1. External	
A. Refurbishment	
i.	Repair existing walls where required with minor repointing of eroded joints required with lime-mortar based. Bricks can be carefully removed and reversed to hide the decay.
ii.	Clean bricks from water ingress signs where required and reverse cracked bricks.
iii.	Repair wall cracking by replacing bricks of the same colour and quality and re-mortar with suitable lime-based mortar.
iv.	Carefully remove all friable loose surfaces from window plinths.
v.	Clean plinths below windows.
vi.	Existing grilles and mesh and fixings to be removed from the window openings and any holes to be made good with a lime-based mortar.
vii.	Repair and reinforce and tie the wall near the clock to SE recommendations.
viii.	Replace to its original state timber support to the clock.
ix.	Repair timber fascia located centrally to the building.
X	Strengthen second floor cantilever structure to SE recommendations.
Xi	Clean and re-instate original tiles below 2 nd -floor windows.
Xii.	Brush off excessive moss from the roof and sprayed with anti-fungal
Xiii.	Broken roof slates to be replaced and refixed with copper wire, but if they are heavier should be nailed or pegged. New slates should match original. Isolated tiles can be resecured by hooking the pegs over the battens.
Xiv.	Ridge and hip tiles can be embedded in lime mortar. In case of split or hole lead, replace by using a matching flashing wedged and pointed above the original with soft lime mortar. If there is a vertical split replace with a short length segment.
Xv.	Clean gutters and rainwater pipes provide plastic leaf guards to gutters and wire balloons above downpipes. Prepare surface by removing old rust and paint and redecorate with a solvent base system, such as an epoxy phosphate primer and acrylic urethane gloss.
Xvi.	Repair side wall slates on roof dormers.
Xvii.	Clean moss and overgrown vegetation from the ground of the rear yard.
Xviii.	Clean moss from the balcony outside the windows.
XIX.	Remove aerial if not required.
B. Conversion	
i.	Remove parts of the rear wall for access on the first and second floor.
ii.	Remove lift , associated walls and staircase as indicated
iii.	New brick on the staircase to match existing and windows to be heritage style.
iv.	Remove the fire exit door and steps from the rear side.
v.	Remove external flue and repair opening from the basement.
vi.	Remove vents coming from the basement to the circulation area (to be investigated internally).
vii.	Remove stepped level coming from the basement to the circulation area (to be investigated internally).
viii.	Excavate for foundations to SE suggestion.
ix.	Secondary windows to be installed.
x.	New heritage style window to be installed to the rear wall and the staircase
2. Existing Internal	
A. Refurbishment	
i.	Flaking plasterwork to be removed and walls to be made good to receive a lime mortar-based plaster and a breathable based paint. Widen cracks prior to fill with the same plaster. If areas of plaster become powdery consolidation techniques should be used. Flaky paintwork to be removed but the rest should be left undisturbed. New paint can be to the original standard, assume lime-wash with alkali-resistant pigments of colour.
ii.	Remove furniture and fittings.
iii.	The roof void is to be checked for defects and repaired as per surveyors' recommendations.
iv.	Re-instate damaged original skirting board and re-paint with breathable mineral paint.
v.	Re-instate damaged original coving on the second floor from water ingress through the roof.
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vii.	Remove later fixings on walls and repair walls.
viii.	Repair or replace to exact specification internal window ledges where required.
ix.	Remove toilets and kitchen facilities and repair associated existing surfaces.
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iii.	Remove the old fire/ smoke sensor and replace it with a new one that suits the proposal.
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v.	Re-instate cupboards under roof valleys.
vi.	Clock mechanism to be replaced with a new one and to be repositioned to an accessible location.
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Gross Internal Area (GIA)	
Basement	92 sqm
Ground	122 sqm
Apartment 1	52 sqm
Apartment 2	50 sqm
Apartment 3	53 sqm
Apartment 4	54 sqm
Total	423 sqm

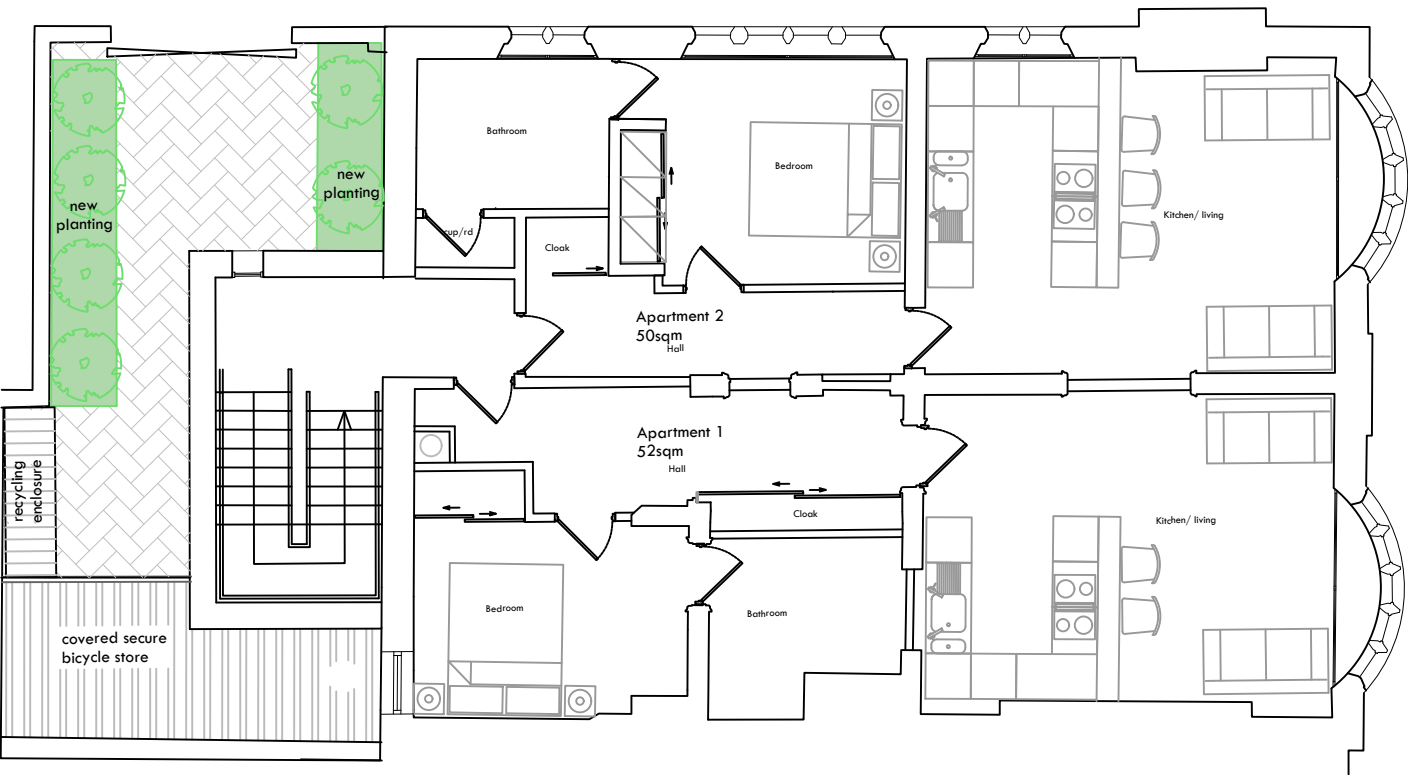


PROJECT
Barclays Bank
SITE ADDRESS
22 London Road
Alderley Edge
SK9 7DZ

DRAWING
Proposed GA First Floor
PROJECT NO. 9021 DWG NO. P-105 REV NO. C SCALE @ A3 1:100
DRAWN BY -LF CHECKED BY -MAL

P L A N N I N G

REV	DESCRIPTION	INTL	CHK	DATE
A	Revised design	MM	MM	21.04.23
B	Reduced glazing	MM	MM	11.05.23
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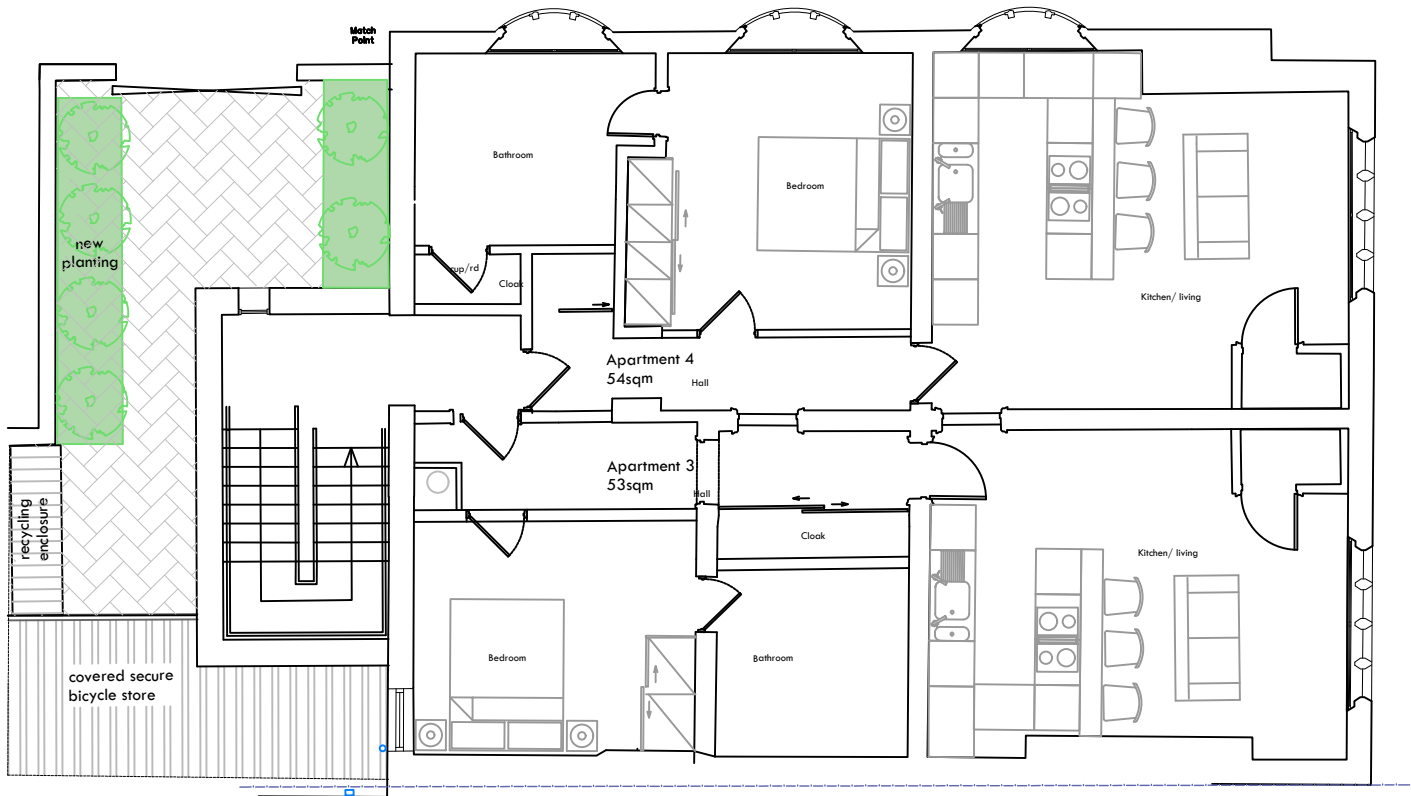
PROJECT
Barclays Bank
SITE ADDRESS
22 London Road
Alderley Edge
SK9 7DZ

DRAWING
Proposed GA Second Floor

PROJECT NO. 9021 DWG NO. P-106 REV NO. C SCALE @ A3 1:100
DRAWN BY -LF CHECKED BY -MAL

P L A N N I N G

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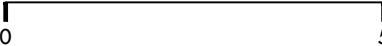


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Application No: 22/4743M

Location: 22, LONDON ROAD, ALDERLEY EDGE, WILMSLOW, CHESHIRE, SK9 7JS

Proposal: Change of use from offices to four residential units on first and second floors accessed via a new brick entrance with stairs, a scheme of critical structural repairs to the building and clock, as well as repairs to make the building watertight. The ground and basement will be use class E(a), E(b), E(c).

Applicant: Mr Phil Bradby, Mango Homes

Expiry Date: 14-Jun-2023

SUMMARY

The proposed development seeks full planning permission for the change of use and conversion of a former bank with associated offices above to commercial uses on the ground floor and basement (shops, financial/professional services or restaurants/cafes) with four one-bedroom residential apartments on the first and second floors above. The building is grade II listed and located on a prominent corner in the main thoroughfare in the centre of Alderley Edge.

The proposal is considered acceptable in principle in the local service centre location and the impact on neighbouring amenity is acceptable. As amended it is considered acceptable in impact on the listed building, subject to conditions. There are concerns raised by the Parish Council, and the call-in reason, relating to parking. No objection has been raised by the Highways officer. There is insufficient information provided with regard to ecology and as such the proposal is recommended for refusal.

SUMMARY RECOMMENDATION

REFUSE

REASON FOR REFERRAL

This application has been referred to Northern Planning Committee following a call-in request from Cllr Craig Browne for the following reasons:

“The application fails to demonstrate compliance with CELPS Parking Standards, in that no provision for vehicle parking has been included within the proposals; this is also contrary to the requirements of the Alderley Edge Neighbourhood Plan, which requires a minimum of one on-

site space per two-bed dwelling. As the proposal relates to a listed building, there is also potential conflict with policies HER1 (Heritage Assets) and HER4 (Listed Buildings) within the newly adopted Site Allocations & Development Policies Document; therefore, the application would benefit from additional scrutiny and discussion by the members of Northern Planning Committee.”

Subsequently the proposals have been amended. Whilst there have been amendments addressing concerns raised with regard to the listed building the objection relating to parking concerns remains.

DESCRIPTION OF SITE AND CONTEXT

The application relates to a Grade II listed former bank located on the corner of London Road and West Street in Alderley Edge. It fronts onto London Road the main route through the centre of Alderley Edge. The site is currently disused following closure of the branch of Barclays Bank. The site has a footprint of around 180 square metres. The building has three storeys plus a basement, with a small hard landscaped area to the west. It is on a prominent corner site, with a symmetrical arrangement of a pair of prominent bays and gables on the London Road frontage and a projecting clock over the pavement on the corner. The upper floors are brick with stone detailing and decorative features, with a stone facing to the ground floor. The building adjoins a cafe to the south, with other town centre uses in nearby buildings along London Road. The northern elevation comprises of three rendered gables with bays to the top floor, a mid-storey of brick with stone detailing and a stone facing to the ground floor. The building is a noticeable and significant feature within the street scene.

The west elevation is plainer of brick with simpler windows and externally mounted services and rainwater goods. There is a flat roofed windowless dormer projection on the west roof slope. This western side faces towards landscaped front gardens behind railings, serving residential properties set back from West Street. To the west are residential units, set back from the road with front garden areas bordered by metal railings.

DETAILS OF PROPOSAL

The application seeks full planning permission for the following:

- Change of use and alterations to the Ground and Basement floors to use class E(a), E(b), E(c). (Shops, restaurants and cafes, financial/professional services.)
- Change of use to four residential units on the first and second floors, with proposed glazed extension to the west elevation to house new access stairs and lift.
- Repairs to the building and clock including repairs to make the building watertight.

Revised plans/statements were received during the application process. The main changes relate to changes to the extension to the rear, with reduced scale and changes to materials.

An accompanying application for Listed Building Consent (22/4744M) appears later in the agenda.

RELEVANT PLANNING HISTORY

22/4744M - Listed building consent - Considered alongside the Full Planning application – not determined to date.

22/3676M - Listed Building Consent for removal of signage and banking facilities. Approved with conditions 04-Jan-2023

22/3675M - Removal of signage and banking facilities. Approved with conditions, 04-Jan-2023

18/6054M - Listed building consent for the installation of replacement boiler and flue. Withdrawn 07-Feb-2019

13/1293M - Listed Building Consent for Remedial works to the stonework, windows and timber doors. Replacement of existing asbestos flue. Upgrading external signage. Approved with conditions 20-May-2013

13/1285M - Planning: Replacement of existing flue at rear and installation of CCTV camera Advert: Replacement of 2no. existing individual letters and 1no. projecting sign. (Advertisement Consent). Approved with conditions, 30-May-2013

13/1284M - Planning: Replacement of existing flue at rear and installation of CCTV camera Advert: Replacement of 2no. existing individual letters and 1no. projecting sign. Approved with conditions, 30-May-2013

08/1598P - Removal of existing ATM and installation of new atm. Approved with conditions, 09-Sep-2008

01/0676P - 2 fascia signs (individual letters), 1 projecting sign and nameplate. Approved with conditions, 25-Apr-2001

01/0675P - 2 fascia signs (individual letters), 1 projecting sign and nameplate. Approved with conditions, 25-Apr-2001

00/1406P - Replacement cash machine & minor adjustment to sill level. Approved with conditions, 16-Aug-2000

70977P Antennae. Approved 01-Jul-1992

58210P - Installation of cash dispenser. Approved with conditions 31-May-1989

58124P - Installation of cash dispenser. Approved with conditions 31-May-1989

POLICIES

Cheshire East Local Plan Strategy (CELPS)

PG1 - Overall Development Strategy, Policy PG2 - Settlement Hierarchy, PG7 – Spatial Distribution of Development, , SD1 - Sustainable Development in Cheshire East, SD2 - Sustainable Development Principles, SE1 - Design, SE2 - Efficient Use of Land, SE3 - Biodiversity and Geodiversity, SE 7 Historic Environment, SE12 Pollution, Land Contamination and Land Instability, SE13 – Flood Risk Management, SC4 – Residential Mix, SC5 - Affordable Homes, IN1 - Infrastructure, IN2 - Developer Contributions, , EG 5 Promoting a town centre first approach to retail and commerce, _CO1 – Sustainable Travel and Transport Appendix C Parking Standards.

Cheshire East Site Allocations Development Plan Document (SADPD)

GEN1 - Design principles, ENV 2 (Ecological Implementation), ENV7 - Climate Change, ENV12 - Air quality, ENV14 - Light pollution, ENV15 - New development and existing uses, ENV16 - Surface water management and flood risk, HER 1 Heritage Assets, HER 4 Listed Buildings, HOU 8 – Space, accessibility and wheelchair housing standards, HOU12 – Amenity, HOU 13 Residential standards, INF3 - Highways safety and access, INF6 - Protection of existing and proposed infrastructure, INF9 – Utilities, RET 1 Retail hierarchy, RET 3, Sequential and impact tests, RET 5 Restaurants, cafes, pubs and hot food takeaways. RET 7 Supporting the Vitality of town and retail centres, RET 9 Environmental improvements, public realm and design in town centres.

Alderley Edge Neighbourhood Plan

AE1 Alderley Edge Development Strategy, AE2 Design, Scale and Type of New Housing, AE3 Sustainable Housing Design, AE8 Supporting a Vibrant Village Centre, AE12 Local and Historic Character, AE13 Views and Townscape, AE17 Car Parking

Other Material Policy Considerations

National Planning Policy Framework (NPPF) 2021

National Planning Policy Guidance (NPPG)

Cheshire East Residential Design Guide

The Conservation of Habitats and Species Regulations 2017 (as amended)

CONSULTATIONS (External to Planning)

Head of Strategic Transport (CEC Highways) – No objections taking into consideration the accessibility of local services and public transport connections.

Environmental Protection (CEC) – Informatives have been requested with regards to construction works hours of operation and a site-specific dust management plan. A condition is required for the works to be in accordance with the recommendations of the submitted acoustic report.

Safeguarding authority for Manchester Airport – No objections raised, an informative is requested regarding procedures for cranes and tall equipment notifications.

Alderley Edge Parish Council –

The Parish Council provided initial comments as follows, key points are as follows:

- Recommending calling the application in to the Northern Planning Committee.
- Concerns regarding parking provision
- Impact of the initially proposed glazed extension.
- bin storage provision
- incorrect classification - A1/A2/A3 no longer valid
- building to be retained as a historic feature
- stone washing as similar historic buildings on London Road
- Would like night safe to be retained.

Following receipt of amended plans the Parish Council has been reconsulted. The Parish Council objects due to the lack of on street parking. If the planning officer is minded to approve the Parish

Council recommends a condition explicitly requiring the developer to provide a material contribution to fund any future TRO (traffic regulation order) for car parking.

OTHER REPRESENTATIONS

One objection on behalf of a local group – **The Edge Association** (summary of comments):

- Glass enclosure not in keeping
- Parking - if arrangements can be made for four parking spaces in the vicinity this part of the objection would be removed.
- Request for stone cleaning
- Request for reinstatement of night safe
- Despite objections – supportive of renovation work

OFFICER APPRAISAL

Principle of Change of Use

Alderley Edge is identified as a Local Service Centre within PG 2 of the CELPS, where small scale development to meet local needs and priorities will be supported where they contribute to the creation and maintenance of sustainable communities. The site is within a local centre boundary as identified within the adopted policies map. SADPD policy RET 1 requires that *“Development proposals should reflect the role, function and character of the relevant retail centre in the hierarchy to promote their long-term vitality and viability.”* Alderley Edge Neighbourhood Plan Policy AE1 states that new residential development will be supported within Alderley Edge village where proposals are located within the settlement boundary. The site is within Focus Area D as identified in the Alderley Edge Neighbourhood Plan (NP). The NP describes the area as follows, *‘The area covers the centre of the village with its retail and commercial uses. Development is generally denser and higher along London Road with network of small side street leading from this with terraced housing. Larger houses and lower density development beyond that, with a general leafy character, significant amount of open space, green frontages and views to The Edge.’*

The building was built as a bank and was previously used as such on the ground floor with staff area, kitchen, toilets and storage on the first floor. The second floor is largely vacant and it is noted that there is damage from water ingress. The clock and parts of the building are in need of repair.

The proposal was submitted to include change of use of the ground floor and basement to use classes A1/A2/A3. Use Class E (Commercial, Business and Service) was introduced on 1 September 2020, under the Town and Country Planning (Use Classes) (Amendment) England Regulations, an amendment to the earlier 1987 Use Classes order. Class E includes the majority of former use class A1 (shops), as well as former A2 (financial and professional services) and A3 (restaurants and cafes). The application description has been changed in accordance with the above to seek permission for the following at ground floor / basement: E(a) (retail, other than hot food), E(b) (sale of food and drink for consumption on the premises, i.e. cafes / restaurants), and E(c), (provision of financial, professional (other than health/medical services)).

The site plan indicates space for waste/recycling, set back from the pavement with some screening from planting beds. This would also serve the upper floors as well as the commercial lower floors. Under SADPD policy RET 7, in a local centre, development proposals for use class E(a) retail development will be supported in principle. In accordance with RET 5, a condition may be required for opening hours, noise, odours and fumes in the case of a use for restaurants and cafes.

The proposals include conversion of the upper two floors to form 4 one-bedroom residential apartments. The listing description includes mentions that the upper floor was originally designed to be a manager's flat. The principle of upper floor residential use in town centre is supported under RET 8, and although this is defined as a local rather than town centre, a similar case can be made for the benefit of access to facilities and services and adding to the vitality of the centre through additional surveillance and supporting the evening economy. The proposals would also bring back a vacant listed building into operation, which is in need of repair.

The conversion of an existing building from a bank and associated offices above to commercial in specific subsections of class E as specified above, with residential units on upper floors in this location is considered acceptable in principle, subject to compliance with other development plan policies.

Affordable Housing

Policy SC5 of the CELPS refers to Affordable Housing. It states that in residential developments, 30% affordable housing will be provided in developments of 15 or more dwellings (or 0.4 hectares) in Principal Towns and Key Service Centres or in developments of 11 dwellings or more (or that have a combined gross floorspace of more than 1000sqm) in Local Service Centres and all other locations. Given the scale of the development there is no affordable housing requirement for this application.

Design, Character and impact on the Heritage Asset

Policies SE 1 and SD 2 of the CELPS and GEN 1 of the SADPD between them set out design criteria for new development which is underpinned by achieving high quality design. Design matters that should be considered, include height, scale, form and grouping of development, choice of materials, external design features, massing of development and impact upon the street scene. CELPS Policy SE 7 supports proposals which do not cause harm to or better reveal the significance of heritage assets. SADPD policy HER 4, in line with NPPF paragraph 16, requires the Council to have special regard to the desirability of preserving listed buildings, their settings and features of special architectural or historic interest that it possesses. Also relevant are policies AE2, AE3 and AE 12 of the Alderley Edge Neighbourhood Plan and chapters 12 and 16 of the NPPF.

The site is a Grade II Listed Building. The building was designed as a bank by architect Percy Scott Worthington, for the Union Bank of Manchester Limited, dated to 1904. The list description describes the building as follows:

“Partly ashlar buff sandstone, partly red brick. Stone-slate roof and stone ridge. Jacobean style. 3-storey symmetrical 3-bay front. End bays have curving bay windows with 5-light mullioned

and transomed windows on the first 2 storeys and a 4-light mullioned and transomed windows in stone coped and ornately finialled gables. Central semi-circular headed ovolo moulded doorcase with company arms and motto under pediment above. Just below eaves is date and decorative lead guttering. On corner of West Street is carved stone bracket supporting clock. West Street front is of 3 storeys with a triple stuccoed gable each containing a bowed oriel with some blue and cream terracotta work. Mullioned and transomed windows on ground storey and mullioned windows on 1st."

The front and flank elevation remains largely intact, there has been a degree of change at the rear. On the ground floor, there is a high degree of survival of the of the original banking hall ceiling which was previously concealed above a suspended ceiling, and this should be integrated into the internal fit out. At basement level over half of the original tiling and cellar plan survives, along with a mid-20th century vault door, again these elements should be retained. The night safe has been removed subject to a previous application and therefore cannot be retained.

The existing internal stairwell is narrow and therefore a new stairwell is proposed. The proposal has been amended during the course of the application to remove an initially proposed glass extension to the rear, which was to contain a lift and stairs to the apartments. The has been revised to a brick extension of a smaller footprint to include a staircase only. This would not be prominent from the main thoroughfare of London Road. It is set in from the side building line on West Street and off the plainer rear elevation, on the west side of the building, towards the carpark and other buildings of lesser townscape merit. The Conservation Officer is satisfied that the amended addition is of an appropriate scale and design to appear as subservient to the host building, and the provision of an external staircase will assist with the restoration of the interior to the building and return it to an active use at all floor levels, after a long period of decline.

An initially proposed mezzanine has also been removed from the proposals following feedback from the Conservation Officer who had raised concerns over the limited information and potential impact on roof structure and cornice features. In the event that the application is approved, the following conditions are recommended:

- A sample panel of brickwork to be approved prior to commencement. This panel would be required to demonstrate the proposed colour, texture, facebond and pointing, and to remain on site until the work is completed.
- Making good of existing fabric both internal and external to match existing adjacent fabric
- Restoration of the banking hall ceiling in accordance with a detailed schedule of work, to be approved prior to works commencing on the ground floor.
- Schedule of repairs for the roof, attic space, dormers, upper ceilings and walls, prior to works commencing on the relevant part of the development.
- Retention of the external clock and schedule of repairs
- Details of retention of basement features/tiles.
- Details of windows and doors, secondary glazing to submitted to a scale of not less than 1:20
- Details of proposed ventilation system including details of vents/grills positions, size and method of installation.
- No external cleaning of the facades without agreement in writing with the LPA of a detailed specification/methodology.

Any new signage for a new business at ground floor would be subject to separate advertisement consent and listed building consent which must be obtained prior to installation of signage in the interest of protecting historic fabric and appropriate visual appearance.

The proposals would secure the future use of an empty listed building. Subject to conditions, it is considered that the amended proposed works would be acceptable in terms of the impact on the listed building, and the wider character of the area. The two key prominent facades would be retained and reinstatement of the previously hidden banking hall ceiling would be a significant benefit. The proposal as amended would overall retain this historic significance of the listed building, subject to matters discussed below.

Living Conditions

CELPs Policy SE1 states that development should ensure an appropriate level of privacy for new and existing residential properties. Policy HOU12 of the SADPD states development proposals must not cause unacceptable harm to the amenities of adjoining or nearby occupiers of residential properties, sensitive users or future occupiers of the proposed development due to loss of privacy; loss of sunlight and daylight; the overbearing and dominating effect of new buildings; environmental disturbance or pollution; or traffic generation, access and parking. HOU 13 along with table 8.2 provides minimum separation distances. Policy HOU 8 requires new residential development to meet the Nationally Described Space Standards.

There are residential properties fronting West Street close to the application site. The addition of the stairwell extension would be within a recessed area of the site, positioned and scaled such that it would not conflict with separation distances within HOU 13 and Table 8.2 of this policy, and would not result in an overbearing impact or affect natural light to adjacent properties. There would be no windows to the rear of the extension and no overlooking concerns from new windows proposed on the rear elevation. As such it is not considered to present harm to neighbouring residential amenity. Parking matters are considered in the highways and access section below.

Nationally Described Space Standard requires a one-bedroom unit to have a minimum gross internal floor area of 39 sqm (or 37sqm where a shower room is provided rather than bathroom), and 50sqm for a two-person, one bedroom unit. The table below demonstrates how the proposed units would comply with required floor areas. All measurements are in square metres and are approximate.

	NDSS minimum (1 person, 1 bedroom)	NDSS minimum (2 person, 1 bedroom)	Apartmt 1	Apartmt 2	Apartmt 3	Apartmt 4
Internal Floor space	39 (37)	50	52	50	53	54
Bedroom area	7.5 (single bedspace)	11.5 (double or twin bedspace)	10	11	11.4	13
Built in storage	1	1.5	2	2	2.5	2

The four units would each be acceptable for one-bedroom dwellings, under the Nationally Described Space Standard, taking into consideration the overall gross internal floor areas, storage requirements and bedroom sizes.

The bedroom windows to two of the apartments on the west elevation are located approximately 5m from the side elevation of the neighbour on West Street. This is a significant shortfall in the separation distances outlined in policy HOU13 of the SADPD. These windows are also framed by an existing building to the south and the new staircase extension to the north. Their outlook would therefore be compromised by existing buildings, and the staircase extension. The second-floor window would have some outlook above the adjacent buildings, but for the first-floor bedroom this would be very limited. As a result, there is conflict with policies HOU 12 and 13 of the SADPD.

Highways and Access

Policy CO1 of the CELPS considers matters of highway safety. Appendix C of the Cheshire East Local Plan identifies minimum Parking Standards for residential development in Principal Towns and Key Service Centres and for the remainder of the borough. Appendix C states that the identified parking standards will only apply where there is clear and compelling justification that it is necessary to manage the road network. Policy INF3 of the SADPD refers to highway safety and access, stating development should provide safe access to and from the site for all highway users.

The site is within a Local Service Centre as identified in the CELPS, with good accessibility to local services. The site is approximately 0.2 miles from Alderley Edge train station with connections to Manchester Piccadilly, Manchester Airport and Crewe. London Road is on a bus route (130) which leads to Macclesfield, Alderley Park, Wilmslow, Handforth and Manchester Airport.

Due to site constraints, there is no potential for off street parking within the site. There is restricted parking on nearby streets and a carpark on South Street. The Highways consultee raises no objections with regards to the proposed commercial use on the ground floor, given the high street location.

In terms of the residential requirements, CEC parking standards would require one space per apartment. The building is currently not in use but has previously been a bank with offices on upper floors. As such even without a change of use application it could be put back into a permitted use which would create a demand for parking beyond that of the existing or the proposed.

The Highways consultee has assessed the proposals, and noted that there is some on street parking available after 6pm. The proposal also includes on site cycle storage, details of which can be conditioned. Taking into account the location with access to local services and transport links no objection has been raised by CEC Highways.

Parking issues was one of the reasons why the application was called in by the Ward Member. The Parish Council has requested that in the case of an approval that a condition be added for the developer to provide a material contribution to fund any future traffic regulation order for car

parking. It is acknowledged that on street parking is limited in the area, however no objection has been raised in the Highways officer's assessment, based on the proposal without additional parking arrangements. Having regard to these comments and the location of the site, being in very close proximity to the railway station and bus stops, the proposal is considered to be acceptable in highways terms.

Noise

Under SE 12 of the CELPS seeks for development to be located and designed so as not to result in a harmful or cumulative impact on noise among other criteria. The policy includes that development for new housing or other sensitive development will not normally be permitted where noise levels are unacceptable unless there is no reasonable prospect that these can be mitigated against. Following an initial objection from the Environmental Protection team regarding the potential impact from road traffic, the railway line and retail units, and acoustic report was submitted in support of the proposal. The report's methodology, conclusion and recommendations are accepted and a condition is recommended for the suggested mitigation within the report to be implemented. As the building is listed details of ventilation will be required for approval prior to installation.

Nature Conservation

CELPS policy SE 3 requires that development must aim to positively contribute to the conservation and enhancement of biodiversity and geodiversity and not negatively affect these interests. Development proposals which are likely to have a significant adverse impact on legally protected species will not be permitted except where the reasons for or the benefits of the proposed development outweigh the impact of the development. Policy ENV 2 of the SADPD is also relevant.

Paragraph 180 of the NPPF requires local planning authorities when determining planning applications to apply principles including that if significant harm to biodiversity resulting from a development cannot be avoided, adequately mitigates or as a last resort compensated for, then planning permission should be refused.

The initial proposal included mezzanine accommodation within the roof space. Additional works to the roof and roofspaces are listed within the submission. The Nature Conservation requested a bat survey due to the potential for works to the roof resulting in disturbance on roosting bats, a European Protected Species. All species of bats are protected under the Conservation of Habitats and Species Regulations 2017 and the Council is required to ensure compliance with the regulations in carrying out planning control duties. In accordance with current legal circular the survey work to establish the presence or absence of a protected species such as bats, should be carried out prior to any planning consent being granted.

The agent has advised that a survey was undertaken but that due to the amendments to the scheme having less impact on the roof voids that a report has not been completed. It is understood that some initial urgent repair works have taken place to the roof. However, there are still works that would be required to implement the scheme which could have an impact on the roofspace. Renovating and converting a building are included in a list of activities that can affect bats in government guidance "Bats: protection and licences". There was evidence during the site visit of water ingress and repairs needed to dormers. There are roof works listed within

the submitted revised documents. The Conservation Officer has requested details by condition of works including to the roof, roof void, upper ceilings and dormers prior to commencement of works to the relevant part. The Nature Conservation Officer is of the view, from a photograph of the roof, that there appear to be gaps big enough for a bat to get into the roof space. As a bat survey has not been provided, the presence of bats, or whether the proposal could adversely affect them cannot be ruled out. As such it has not been demonstrated that the proposals would comply with the Habitat Regulations.

There is insufficient information to confirm whether or not the building has bat roost potential, and to assess whether the proposed works are likely to have any impact on bats if a roost is present. Therefore, the application is not considered to be compliant with policy SE3 of the Cheshire East Local Plan Strategy, ENV 2 of the SADPD and chapter 15 of the NPPF.

Other Matters

Manchester Airport has raised no objection to the change of use. An informative has been provided with a link to the procedures for crane and tall equipment notifications.

The site is within Flood Zone 1 where there is a low risk of flooding. United Utilities have been consulted but no response has been received. The site is an existing building with existing sanitation facilities within an urban area where services are available and as such it is considered acceptable in terms of impact on the wider drainage and water infrastructure.

Planning Balance

The proposed development for the change of use is acceptable in principle in this location and the proposal as amended raises no issues with regards to the impact on neighbouring amenity.

The benefits in this case include securing the reuse and repair of a listed building that is currently vacant, maintaining the vitality of the main high street of Alderley Edge, and the provision of 4 additional residential units which would make a small contribution to the housing land supply. The conversion of the building would also bring the usual economic benefit to the local shops and services for the duration of the construction and would potentially provide local employment opportunities in construction and the wider economic benefits to the construction industry supply chain. There would be an economic benefit to local services longer term by virtue of new residents spending money in the area, and through employment and the supply chain to support the services provided in the uses in the lower floors, although this is balanced against the previous uses which would have also had economic benefits. Overall it is considered that there would be a gain in economic benefit to the area from the proposals, although limited. These factors are considered to carry moderate to substantial weight in favour of the proposal.

There are however factors which weigh against the proposal, which include the lack of evidence to confirm whether or not the proposals would have an impact on a protected species. As this relates to a protected species, substantial weight is afforded to this harm. The shortfall in separation distance from the side elevation of the neighbour on West Street to west elevation bedroom windows serving the proposed apartments, and conflict with policies HOU12 and HOU13 also attracts moderate to substantial weight against the proposal.

The benefits of the reuse and repair of the listed building are acknowledged, but due to the specific policy conflict relating to protected species and living conditions of future occupiers, and the Council's duties with regard to protected species overall it is considered that the benefits identified would not overcome the specific harm in this case.

CONCLUSION

The proposed development for the change of use is acceptable in principle in this location and the proposal as amended raises no issues with regards to the impact on neighbouring amenity. The amendments are acceptable in impact on the listed building subject to conditions. Issues relating to carparking have been raised by the parish council, however it is considered on balance due to the accessibility of local services and transport connections and with no objection raised by the Highways consultee it is considered that the impact on parking and the local highways network would not justify a refusal. The proposal however has not been supported by a bat survey to confirm whether or not there is potential for a bat roost. Given that there is likely to be works which could result in disturbance of the roof voids there is insufficient evidence to confirm that there would not be a conflict with policies SE 3 of the Cheshire East Local Plan, ENV2 of the Site Allocations and Development Policies Document and chapter 15 of the National Planning Policy Framework. In addition, the separation distance between west facing bedroom windows and the neighbouring property falls well below the recommended distances in the local plan, which will be to the detriment of future occupiers. The proposal is therefore also contrary to policies HOU12 and HOU13 of the SADPD. Given that the benefits in this case do not outweigh the identified harm, a recommendation of refusal is made.

RECOMMENDATION:

Refuse for the following reasons:

- 1. The proposal includes works to convert and renovate a disused building which is identified in government guidance "Bats: protection and licences" as an activity which can affect bats. The lack of evidence to establish the presence of, and no adverse impact on, any potential bat species results in insufficient information to demonstrate compliance with policies SE3 of the Cheshire East Local Plan Strategy, policy ENV2 of the Site Allocations and Development Policies Document, Chapter 15 of the National Planning Policy Framework, and The Conservation of Habitats and Species Regulations 2017 (as amended).**
- 2. The position of habitable room windows on the proposed west elevation of the building, in relation to adjoining buildings and the proposed extension, would result in substandard living conditions for future occupiers of the property in conflict with policies HOU12 and HOU13 of the Site Allocations and Development Policies Document.**

In order to give proper effect to the Committee's intentions and without changing the substance of the decision, authority is delegated to the Head of Planning in consultation with the Chairman

(or in his absence the Vice Chair) of Northern Planning Committee to correct any technical slip or omission in the wording of the resolution, between approval of the minutes and issue of the decision notice.



Application No: 22/0692M

Location: ADDERS MOSS, MACCLESFIELD ROAD, OVER ALDERLEY, MACCLESFIELD, CHESHIRE, SK10 4UD

Proposal: Replacement of existing dwelling and outbuildings with a new dwelling and outbuildings of exceptional design quality. Including landscaping scheme and new vehicle access from Prestbury Road, and associated development.

Applicant: Hares

Expiry Date: 11-Aug-2023

SUMMARY

The proposal represents an inappropriate form of development in the Green Belt as it would not meet any of the exceptions to inappropriate development as defined by the CELPS and the NPPF.

Substantial weight is given to this harm. Very special circumstances which clearly outweigh the harm will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations.

In addition to the Green Belt harm, additional harm has also been identified in relation to the adverse impact on openness the development would have which contributes further the substantial Green Belt harm.

Significant weight is attached to the ecology harm that would arise due to the loss of bat roosts which would cause High severity of impact on the local scale and a Moderate impact on the species concerned at the regional scale. Although mitigation is proposed, there are no overriding reasons to approve the application proposals and therefore the development is deemed contrary to the Habitat Regulations and the ecology policies contained within the local plan.

Significant weight is also attached to the harm in which the proposal would have on the character and appearance of the site itself and the wider landscape, due to the scale of the dwellinghouse being inappropriate and the parts of the proposed wider landscaping scheme also failing to preserve the character of the area.

No concerns are raised in terms of highway safety, heritage conservation, trees, flood risk, public rights of way, residential amenity, land contamination or air quality matters. Subject to conditions as outlined in this report, these matters carry neutral weight in the planning balance. Paragraph 148 of the NPPF is clear that in the Green Belt 'very special circumstances' will not exist unless the harm to the Green Belt, and any other harm, is clearly outweighed by the other

considerations. As such, in order for the planning application to be approved, the overall balance would need to be in favour the applicant's case. The high-quality design and sustainability considerations presented by the applicant are not deemed to clearly outweigh the combined harm to the Green Belt and the other identified harm.

As a result, the 'very special circumstances' required by the NPPF and the local plan have not been demonstrated and the proposed development remains to be an inappropriate form of development in the Green Belt. The proposal would also have an adverse impact on protected species and would fail to positively contribute to the character of the area. The application is therefore recommended for refusal.

SUMMARY RECOMMENDATION

Refuse

REASON FOR REPORT

In accordance with the Council's Scheme of Delegation, planning applications for small scale major residential development (1 – 4 hectares) will be determined by the Northern Planning Committee.

In this case, the total area of land to which this application relates extends to approximately 2.6 hectares as shown edged in red on the submitted Location Plan. Accordingly, the planning application is required to be determined by the Northern Planning Committee.

DESCRIPTION OF SITE AND CONTEXT

The application relates to Adders Moss, a large detached dwellinghouse in Over Alderley. The site lies within the designated Green Belt. The site contains various outbuildings and a tennis court which sit within the garden around the existing dwellinghouse. The site lies at the intersection of Macclesfield Road and Prestbury Road which both run along the site's southern boundary. Existing access is taken from Macclesfield Road.

A band of mature tree and hedge planting is found along the roadside boundary, offering some visual screening from the highway. A public right of way (Over Alderley FP9) passes through the site along the length of its north-western boundary. The site is located within the Alderley Edge and West Macclesfield Wooded Estates Local Landscape Designation.

DESCRIPTION OF PROPOSAL

The application seeks full planning permission for the *"Replacement of existing dwelling and outbuildings with a new dwelling and outbuildings of exceptional design quality. Including landscaping scheme and new vehicle access from Prestbury Road, and associated development"*

The proposed development can be summarised to include the following elements:

- Replacement dwelling (inc. attached outbuildings)

- Detached outbuildings
- New vehicle access
- Replacement tennis court
- Landscaping

The proposed replacement dwelling would be broadly located in the same position of the site as the dwellinghouse it would replace. The proposed 7-bedroom two-storey dwellinghouse would be of Classical design.

A number of outbuildings are also proposed as part of the redevelopment of the site, including an Estate Office building adjacent to the dwellinghouse and a Belvedere to the eastern end of the garden.

The proposed new vehicular access would be taken from Prestbury Road and would connect to the dwelling via a meandering driveway parallel to the southern site boundary.

RELEVANT POLICIES

Cheshire East Local Plan Strategy (CELPS)

MP 1	Presumption in Favour of Sustainable Development
PG 2	Settlement Hierarchy
PG 3	Green Belt
SD 1	Sustainable Development in Cheshire East
SD 2	Sustainable Development Principles
SE 1	Design
SE 2	Efficient Use of Land
SE 3	Biodiversity and Geodiversity
SE 4	The Landscape
SE 5	Trees, Hedgerows and Woodland
SE 7	The Historic Environment
SE 9	Energy Efficient Development
SE 12	Pollution, Land Contamination and Land Instability
SE 13	Flood Risk and Water Management
Appendix C	Parking Standards

Site Allocations and Development Policies Document (SADPD)

PG 9	Settlement boundaries
GEN 1	Design principles
ENV 1	Ecological network
ENV 2	Ecological implementation
ENV 3	Landscape character
ENV 5	Landscaping
ENV 6	Trees, hedgerows and woodland implementation
ENV 7	Climate change
ENV 12	Air quality
ENV 14	Light pollution
ENV 16	Surface water management and flood risk

HER 1	Heritage assets
HER 7	Non-designated heritage assets
HER 8	Archaeology
RUR 13	Replacement buildings outside of settlement boundaries
HOU 8	Space, accessibility and wheelchair housing standards
HOU 12	Amenity
HOU 13	Residential standards
INF 1	Cycleways, bridleways and footpaths
INF 3	Highway safety and access
INF 9	Utilities

Over Alderley Neighbourhood Development Plan (OANDP)

[Regulation 14 Stage – Limited Weight]

OA4	Responding to Over Alderley's Built Heritage
OA5	Responding to Local Character
OA6	Landscape Character
OA7	Dark Skies and Lighting
OA8	Wildlife
OA9	Sustainable Design Guidance
OA11	Protecting Over Alderley's Peace and Tranquility

Other Material Considerations

National Planning Policy Framework
National Planning Practice Guidance
The Cheshire East Borough Design Guide
Habitat Regulations

RELEVANT PLANNING HISTORY

13892P – approved – April 1978
Store for agricultural parts & equipment

16/5811M – positive certificate – January 2017
Certificate of proposed lawful use for vehicular access, area of hardstanding and a detached garage

17/0682M – positive certificate – April 2017
Certificate of Lawful Existing use of land as garden

CONSULTATIONS

Environmental Protection (CEC)

- Conditions relating to testing of soils and identification of previously unknown contamination recommended
- Electric vehicle charging condition
- Recommended informatives relating to construction hours, dust management, pile foundations, floor floating and contamination

Highways (CEC)

- No objection
- New access provides sufficient visibility to serve the dwelling
- Gates are sufficiently set back from the highway

Lead Local Flood Authority (CEC)

- No objection in principle
- Recommend condition for submission and approval of a drainage strategy

Public Rights of Way (CEC)

- Property is adjacent a public footpath
- Unlikely that the proposal would affect the public right of way

United Utilities

- Advice / recommendations provided for applicant

Over Alderley Parish Council

- We note the quality of the information comprising the application and the applicant's intention to create a design of the highest standards.
- The comprehensive redevelopment of the site to create a replacement dwelling in the greenbelt presents an opportunity to discover a compelling and relevant design solution of its place and time.
- Emerging themes in the neighbourhood plan are the nature of built form within the different plot types in the parish, the primacy of the landscape and the character and continuity of field boundaries.
- Large Georgian estates in the parish are set in many acres. The role that they play in the hierarchy of built form and landscape across the parish is clearly understood.
- The scale and nature of this site does not fit this category, it cannot even "borrow" landscape from adjacent fields to create an appropriate setting. It will therefore be in conflict with the local character and distinctiveness of Over Alderley.
- The Georgian reproduction style will stand in stark contrast to the family of buildings that it seeks to be a part of and in stark contrast to the gentle agricultural context of the parish.
- Substantial thinning of the tree belt forming the perimeter of the site has recently taken place. Any new development should replace this to provide a dense screen (as the example at Dickens Farm).
- The gate entrance seeks to create an imposing impression which is again at odds with the characteristics of older plot and estate entrances in the parish. A far less visible and arresting solution, taking cues from older plot examples and providing continuity of the stone wall and native hedge boundaries, will settle the site more harmoniously into its context.

- A critical issue will be controlling artificial lighting levels, keeping all external lighting to a minimum, to avoid light pollution and eliminate harmful impacts in the greenbelt.
- Revised gateway design does not meet the requirements of the Over Alderley Neighbourhood Plan regarding design principles. The Neighbourhood Plan sets out that high walls, gates and building materials should not be used to create separation from the landscape. Boundary treatments should reflect the naturalness and openness of the landscape and not attempt to introduce alien features which do not integrate with the local landscape and character.

OTHER REPRESENTATIONS

East Cheshire Group of the Ramblers

- Over Alderley Footpath 9 is located along the north west side of the site and within the boundary of the planning application. However, scant details are provided of how the path will be treated. Its existence is noted in paragraph 10.2 of the Design and Access Statement with the comment "Public access via a footpath on the north-west boundary, concerns in relation to privacy and security". The elevations are labelled up showing "New brick wall between yard and public footpath" and "New hedgerow between public footpath and forecourt" (Proposed Elevations A).
- The footpath will be enclosed on both sides and, thus, we would ask for a minimum width of 2.5m to be provided in accordance with the PROW Unit requirements. This width is particularly important to achieve along the section of path north of the existing outbuildings where the current width is barely 1 metre. On this section the footpath has a high holly hedge on the west side and a new hedge is proposed on the east side of the footpath which, inevitably, will impinge on the actual width available for the footpath.
- We would also ask that the surface is either sealed (as per the southern section of the existing path) or stoned so that it can be walked in all weathers.
- In the absence of further details, we would ask that a planning condition is placed on the development to the effect that:
 1. A minimum width of footpath of 2.5m shall be provided along the whole length of the development
 2. The surface of the path shall be to the approval of the PROW Unit

OFFICER APPRAISAL

Principle of Development – Green Belt

The application site is located within the Green Belt. Paragraph 149 of the NPPF states that the construction of new buildings in the Green Belt shall be regarded as inappropriate development. Paragraphs 149 and 150 of the NPPF specify a number of exceptions to this, which are also broadly mirrored in policy PG 3 of the CELPS.

In this case, the application proposes a number of different elements, comprising a replacement dwelling, outbuildings, new access, replacement tennis court and associated landscaping.

Accordingly, the following two exceptions to inappropriate development in the Green Belt are relevant to the proposal:

the replacement of a building, provided the new building is in the same use and not materially larger than the one it replaces;

limited infilling or the partial or complete redevelopment of previously developed land, whether redundant or in continuing use (excluding temporary buildings), which would:
– *not have a greater impact on the openness of the Green Belt than the existing development;*

These exceptions are discussed in turn below.

Replacement Building

As set out above, the replacement of a building in the Green Belt is not inappropriate, subject to the new building being in the same use and not materially larger than the one it replaces. The application proposes no change of use and therefore the first requirement of this exception is met.

SADPD policy RUR 13 provides detailed policy expectations for development involving the replacement of buildings in the Green Belt. The policy reinforces the requirements of the NPPF and policy PG 3 stating that the replacement building must not be materially larger than the existing building.

There is no definition as to what constitutes a 'materially larger' building. Policy RUR 13 states that when considering whether a replacement building is materially larger, matters including height, bulk, form, siting, design, floorspace and footprint will be taken into account. Increases in overall building height and development extending notably beyond the existing footprint in particular have the potential to be materially larger.

A 'Schedule of Areas' is provided at Section 12 of the submitted Design & Access Statement. In this case, the existing dwellinghouse has a floor area (GEA) of 669m² which when compared to the 911m² floor area of the proposed dwellinghouse represents a 36% increase.

The above figure relates to the main dwellinghouse only, however if existing and proposed outbuildings are also included, the proposed replacement buildings would result in a floor space increase from 842m² to 1055m² of, which equates to a 25% increase.

In terms of building heights, the main ridge of the proposed dwellinghouse would be 10.1m which when compared with the existing height of 6.9m represents a 46% increase. Similarly, the proposed increase in eaves height from 5.1m to 7.3m is a 43% increase. Both of these parameters would represent a materially larger dwellinghouse.

The above figures clearly illustrate an increase compared to the existing building; however, it is also important to consider a range of other parameters when concluding whether a building is materially larger. In this case, the proposed architecture is inspired by Classical design. As a result, the grand facades, tall ceiling heights and tall eaves, coupled with the increase in floor space would represent a building that is materially larger than the one it would replace.

Accordingly, the proposed development would fail to accord with this exception to inappropriate development in the Green Belt.

The applicant's submission concurs with this conclusion, and therefore a case of very special circumstances to outweigh this harm has been presented. This is discussed later in the report.

Redevelopment of Previously Developed Land

The proposed development comprises more than just the replacement of a building; it also involves additional elements of development including the construction of new detached outbuildings, a new vehicular access, replacement tennis court and site-wide landscaping.

The entire site is understood to be in residential use (as established by 17/0682M) and is therefore defined as previously developed land. Therefore, as set out above the partial or complete redevelopment of the land is not inappropriate as a matter of principle, subject to the proposed development not having a greater impact on openness.

As set out above in consideration of the replacement building exception, the proposed dwellinghouse would be materially larger than the one it would replace. This increase in size would also represent loss of openness both spatially and visually, and for this reason, this element of the proposal would fail to meet the exception to inappropriate development.

In addition to the main dwellinghouse, the application also proposes the construction of new outbuildings. One of the new buildings proposed is a belvedere which would be built within the garden to the eastern end of the site. This building would be located in part of the site which is currently absent from built form. It would not appear to be physically related to the main dwellinghouse due to the significant separation between the two. Accordingly, the construction of this building in part of the site which is currently absent from such development would result in loss of openness. Therefore, this element of the proposal would also fail to accord with the above exception to inappropriate development.

Another element of the site's redevelopment involves the creation of a new gated access and driveway. The principle of constructing a new access point and private driveway have previously been established by application reference 16/5811M. However, as part of this current application a new set of gates and railings are proposed to form the new access. The size of the gates has been reduced during the course of the application, however as revised the gates would still be located on part of the site which does not currently contain the scale of built form proposed. The proposed stone gate pillars would reach almost 4m in height, with the 30m length of metal railings having a height greater than 2m. The proposed gated access is therefore not considered to preserve openness. It would therefore fail to meet the exception to inappropriate development.

Accordingly, the proposed replacement dwelling, new buildings and landscaping works would have a greater impact on openness than the existing development and therefore it would not comply with the exception.

Green Belt – Summary

For the above reasons, the proposed development would fail to accord with any of the given exceptions to inappropriate development in the Green Belt, as set out in CELPS policy PG 3 and paragraphs 149 and 150 of the NPPF. It would therefore represent an inappropriate form of development in the Green Belt.

Inappropriate development is, by definition, harmful to the Green Belt. In accordance with NPPF paragraph 148, substantial weight is given to this harm.

Other Green Belt harm

Paragraph 137 of the NPPF states that the fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open; the essential characteristics of Green Belts are their openness and their permanence.

Openness is capable of having both spatial and visual aspects – in other words, the visual impact of the proposal may be relevant, as could its volume. As discussed above, the proposed development would result in loss of openness both visually and spatially due to the construction of a materially larger building. Additional elements of the proposed development, including new outbuildings and gated access, would also cause visual and spatial harm to openness.

The duration of the development, and its remediability are also important considerations, taking into account any provisions to return land to its original state of openness. The development proposed would be of substantial construction and is not of a design intended to be removed from the land in a short timeframe. The proposal would therefore be a permanent feature in on the land.

Finally, the degree of activity likely to be generated, such as traffic generation is also a key consideration in assessing the impact on openness. In this case, there would be no increase in residential units. There would be no material increase in activity at the site as a result of the proposed development, however this does not justify the harm generated by the other considerations above.

For the above reasons, the proposed development cause harm to openness in addition to the harm it would cause by reason of inappropriate development in the Green Belt.

Character, Design & Landscape

Policy SD 2 of the CELPS states that all development will be expected to contribute positively an area's character and identity, creating or reinforcing local distinctiveness. Policy SE 1 of the CELPS details that development proposals should make a positive contribution to their surroundings in terms of a number of criteria. This includes ensuring design solutions achieve a sense of place by protecting and enhancing the quality, distinctiveness and character of settlements.

SADPD policy GEN 1 expands on this, expecting all development proposals to contribute positively to the borough's quality of place and local identity through appropriate character, appearance and form in terms of scale, height, density, layout, grouping, urban form, siting, good architecture, massing and materials.

Whilst the proposal is not strictly a type of development that would normally be considered under NPPF paragraph 80(e) as it is for a replacement dwellinghouse, rather than a new isolated home in the countryside, it still acts as a useful benchmark in assessing the quality of design a proposal would deliver.

The application is supported by a detailed Design & Access Statement, Planning Statement, an assessment of a design review panel and E*SCAPE assessment by Roger Lomas.

Dwellinghouse

The detailed design of the dwellinghouse is considered to be high-quality, however when considering an application under NPPF paragraph 80 it is important to note that the design must be exceptional and reflect the highest standards in architecture for it to be recognised as outstanding.

With regard to the setting of the dwelling within the wider landscape, the more intimate landscape of formal gardens is reflective of a house of this style and stature, compared to historic examples. However, whilst the surrounding landscaping is rural in character, it sits outside the site boundary and therefore beyond control of the scheme – as such, this landscape is “borrowed” with no guarantees that the character of the wider landscape will be retained. Whilst some similar historic properties may, over time, have experienced a reduction in the extent of their wider estate setting, the grandeur and scale of the country house was originally designed to sit in a more generous, expansive landscape setting than is available for this proposed scheme. Consequently, it does not have the benefit of a wider estate and therefore appears out of scale for the comparatively modest plot it is proposed upon.

There is also a question here regarding the philosophy of seeking a new Georgian mansion in a contemporary setting, particularly when the approach replicates traditional detailing rather than re-interpreting that for the 21st century. Consequently, although the proposed detailing is undoubtedly well executed, there is no evidence to suggest that the proposal would be truly outstanding, nor would it seek to push the boundaries of rural design more generally. It also cannot be demonstrated that the proposal would significantly enhance its immediate setting or be sensitive to the area’s defining characteristics as expected by NPPF paragraph 80(e). This is not to say the detailed design is not high-quality, it would just not be considered as an exceptional example.

Whilst it is noted that there are references to potential approaches to sustainable energy production, there is no clear strategy which outlines the specific measures and their performance. As such, it is difficult to weigh its contribution toward design quality or ensure the performance of the building through condition.

Overall, whilst the detailed design of the proposed dwellinghouse itself would represent an example of high-quality architecture, the size and appearance of the building would appear out of scale within the context of the relatively modest plot in which it would be located.

Wider Landscaping

In addition to the design policies set out above, the local plan’s landscape policies are also of relevance, particularly due to the site’s location within a Local Landscape Designation (Alderley

Edge and West Macclesfield Wooded Estates). These areas represent the highest quality and most valued landscapes in the borough.

CELPS policy SE 4 is the overarching consideration when assessing the landscape impact of a proposal. Amongst other matters, it expects all development in Local Landscape Designations to conserve and enhance their special landscape quality. The Council will seek to protect Local Landscape Designations from development which is likely to have an adverse effect on its character and appearance and setting.

SADPD policy ENV 3 reinforces this, stating that development proposals should respect the qualities, features and characteristics that contribute to the distinctiveness of the local area.

In terms of the landscaping works across the site, a 'Landscape Concept' and 'Whole Site A2 Plan' give an indication of the proposed scheme. The Landscape Officer raises no objection to this, albeit the details are limited as submitted. A fully detailed landscape scheme and strategy would be expected and therefore in the event of approval, a number of conditions have been recommended to secure the required details. There are, however, concerns with some of the elements proposed as part of the landscaping works.

Part of the proposed landscaping involves new boundary treatment and hard landscaping around the perimeter of the site. Revised plans were submitted during the course of the application scaling down the visual appearance of the proposed new gated access. The Design Officer has reviewed the proposal and accepts that the amendments to the proposed gateway do reduce the potential impact they would have on the character of Prestbury Road compared to the original proposal, however it is still a formal gateway in an area where entrances are generally more low-key and informal.

The Landscape Officer has also commented on the proposed entrance gates, considering them to be at odds with the rural character of Prestbury Road. As above, the revised plans are not considered to resolve this concern as the imposing set of gates and associated railings remain to be proposed in an area which is currently absent from such built form.

Cleft chestnut pale fencing is proposed as boundary fencing to the highway. This section of fencing would run along the edge of the highway for length of over 200m. This type of fencing is usually used as a temporary measure, and with a height of 2m is not considered to be an appropriate choice of boundary treatment in this location. A lower, and more discrete timber post and rail fence or similar would be more appropriate to tie in with the local landscape character.

No details of external lighting have been provided with the application. In accordance with SADPD policy ENV 14 the amount of lighting proposed will be kept to a minimum in the interests of security, safety and operational purposes. To avoid excess external lighting of the site, including illumination of the dwellinghouse itself and the driveways and garden, a condition would be recommended for a full lighting scheme to be submitted and approved.

Accordingly, whilst there are no objections to some elements of the landscaping package proposed subject to conditions, the proposed new gated access and boundary treatments proposed would fail to make a positive contribution to the distinctiveness of the local area and would not preserve the character of the landscape.

Design Summary

Whilst the proposed dwellinghouse is not considered to be of exceptional or truly outstanding design, the detailed design can still be considered to be high quality. However, the grandeur and scale of country house design was originally intended to sit in a more generous, expansive landscape setting than is available for this proposed scheme. Consequently, it does not have the benefit of a wider estate and therefore appears out of scale for the comparatively modest plot it is proposed upon.

In terms of landscaping, the full details of any earthworks required, and detailed planting plans have not been provided however this can be secured by way of condition. However, the hard landscaping details that have been provided for consideration are not found to be appropriate, in particular the gated access and boundary treatment around the perimeter of the site.

The large entrance gates would appear as an incongruous formal built feature, at odds with the rural character of this section of Prestbury Road. The 2m tall split chestnut fencing which would run along the site's highway boundary would also be inappropriate and would not positively contribute to the character of the site or the wider landscape.

Accordingly, the proposal would conflict with CELPS policies SD 1, SD 2, SE 1 and SE 4; and SADPD policies GEN 1 and RUR 13.

Heritage Conservation

The application property is visible on the Tithe Map, identified as a small plot occupied by a single linear building which sat in a much smaller plot than the existing property now enjoys. As such, the dwelling should be considered as a non-designated heritage asset.

When considering applications affecting non-designated heritage assets, CELPS policy SE 7 requires that the impact of a proposal on the significance of the asset should be properly considered, as they are often equally valued by local communities. The presumption should be that heritage assets should be retained and re-used wherever practicable.

SADPD policy HER 7 states that a balanced judgement will be required, when considering development that would impact a non-designated heritage asset. Regard should be given to the significance of the heritage asset and the scale of any loss or harm.

The application is supported by a Heritage Impact Assessment (Henderson Heritage). It identifies that the property appears on the Tithe Map of 1836-1851. The assessment also points out that there are historical connections with the De Ferranti family (section 3.7), which provide some associative historic value.

The Heritage Conservation Officer accepts that the building has undergone many alterations in the past and no longer demonstrates its early origin, hence while there has been a building on this site in the distant past its value as a non-designated heritage asset has been severely reduced. Additionally, the alterations made to the building over time have resulted in a mix of styles which have resulted in ill-considered extensions to the building, resulting in a disjointed and confused appearance.

Accordingly, although there is a historic connection with the built form on this site, it is considered that connection has been obliterated over time (as set out in sections 4.3.7, 4.3.8 and 6.4 of the HIA). Therefore, the heritage value of the site should no longer form a key consideration for further development.

For the above reasons, no objections are raised by the Heritage Conservation Officer and the proposal would comply with policies SE 7 and HER 7 of the local plan.

Nature Conservation

CELPs policy SE 3 sets out the main policy requirements in relation to development proposals that would have an impact on the borough's biodiversity and geodiversity. Development proposals which are likely to have a significant adverse impact on a site with the local or regional designations, habitats or species specified in the policy will not be permitted except where the reasons for or benefits of the proposed development outweigh the impact of the development.

All development must aim to positively contribute to the conservation and enhancement of biodiversity and geodiversity and should not negatively affect these interests to comply with policy SE 3. SADPD policy ENV 2 provides further requirements when considering the ecological impact of a proposal. It expects all development to provide a net gain in biodiversity, and states that planning applications should be supported by an ecological assessment.

Bats

Evidence of what is likely to be a maternity colony of a widespread bat species was recorded during the survey of the buildings on site. In addition, a minor roost of a second widespread bat species and third minor roost of a less common bat species was also recorded. The Nature Conservation Officer advises that these roosts are of substantial nature conservation value.

In the absence of mitigation, the proposed development would pose the risk of killing or injuring any bats present and would result in the loss of the identified roosts. The Nature Conservation Officer confirms that the loss of the maternity roost would have a High severity of impact on the local scale and a Moderate impact on the species concerned at the regional scale. The loss of the minor roosts would have a low impact on the species concerned.

To mitigate for the risk of killing or injuring bats during the construction phase the submitted report recommends the timing of the works and that the works be supervised by a licenced bat worker. The provision of a number of bat boxes is proposed as a means of compensating for the loss of the existing roosts.

As there is evidence that a European Protected Species has been recorded on site and is likely to be adversely affected the proposed development, the planning authority must have regard to the Habitats Regulations when determining the application and consider whether Natural England would be likely to grant a protected species license. The Habitats Regulations only allow a license to be issued when a number of tests are met. In summary are:

- the development is of imperative overriding public interest,
- there are no suitable alternatives and

- the favourable conservation status of the species will be maintained

Current case law instructs that if it is considered clear or very likely that the requirements of the directive cannot be met because there is a satisfactory alternative, or because there are no conceivable “other imperative reasons of overriding public interest”, then planning permission should be refused. Conversely, if it seems that the requirements are likely to be met, then there would be no impediment to planning permission be granted. If it is unclear whether the requirements would be met or not, a balanced view taking into account the particular circumstances of the application should be taken.

The first test requires the development to be of overriding public interest. In this case, as is explained further below, the proposed development fails to accord with the policies of the local plan and the provisions of the NPPF and is therefore recommended for refusal. Accordingly, there is deemed to be no overriding reason for granting approval of the application and as such, the development is deemed to fail this first test.

The second test requires consideration of a suitable alternative. An alternative to the development proposed could involve remodelling and upgrades to the existing dwellinghouse. These alternative works have the potential to have a similar impact on protected species as the proposed development. Therefore, there are not considered to be any suitable alternatives in this instance.

The third and final test requires the favourable conservation status of the species to be maintained. The Nature Conservation Officer advises that in the event planning consent is granted the proposed mitigation and compensation, if successful, would be sufficient to maintain the favourable conservation status of the species concerned. This would be secured via condition in the event the application was recommended for approval.

However, whilst the proposal may meet the second and third tests, the first test have not been met and the application proposals are deemed to fail Habitats Regulations which in turn, means that it's unlikely that Natural England would grant a protected species licence.

As the development would have a substantial adverse impact on habitats or species and because the benefits of the proposed development do not outweigh the impact of the development, the proposals are also deemed contrary to CELPS policy SE 3, and SADPD policy ENV 2.

Great Crested Newts

A survey has been undertaken on the on-site pond which did not record any evidence of great crested newts being present. There are two further ponds located just over 60m from the proposed development site.

The application site however offers very limited habitat for great crested newts and does not support any features likely to be utilised by newts for shelter and protection, furthermore the proposed development would not result in the fragmentation or isolation of great crested newt habitat.

The potential impacts of the proposed development are limited to the low risk of any newts that venture onto the site being killed or injured during the construction process. In order to address this risk the applicant's ecological consultant has recommended a suite of 'reasonable avoidance measures'.

The Nature Conservation Officer advises that provided these measures are implemented the proposed development would be highly unlikely to result in a breach of the Habitat Regulations. Consequently, it is not necessary for the Council to have regard to the Habitat Regulations with regard to great crested newts during the determination of this application.

In the event planning permission is granted a condition requiring adherence to the submitted reasonable avoidance measures document is recommended.

Ponds

The existing pond on site was not shown as being retained on the submitted layout or landscape plans. The pond was removed from the red line of the application site during the course of the application. No development is therefore proposed in this area and as such no further consideration of the pond is required.

Nesting Birds

In the event of approval, a condition is recommended which prevents the removal of any vegetation, demolition or conversion of any buildings during bird nesting season (March – August), unless a detailed survey has been carried out. Subject to this condition, nesting birds would be safeguarded.

Non-Native Plant Species

A number of non-native invasive plant species are present on site. If planning consent is granted, the Nature Conservation Officer recommends that a condition be attached requiring the submission of a method statement for the control of these species. This could be incorporated into the Ecological Enhancement condition below.

Ecological Enhancement

This planning application provides an opportunity to incorporate features to increase the biodiversity value of the final development in accordance with Local Plan Policy SE 3.

In the event of approval, the Nature Conservation Officer would recommend that the applicant submits an ecological enhancement strategy prior to the commencement of development. This could be secured by an appropriately worded condition.

Ecology Summary

The proposed development would have a moderate-high impact upon a maternity colony and minor roost of bats, which are protected and priority species. The reasons for or benefits of the proposed development do not outweigh the adverse impacts of the proposed development upon these species. The proposals are contrary to CELPS policy SE 3 and SADPD policy ENV

2. The proposal would also fail the Habitats Regulations tests and therefore Natural England are unlikely to grant a licence for the development.

Trees

In accordance with CELPS policy SE 5 Development proposals which will result in the loss of, or threat to, the continued health and life expectancy of trees, hedgerows or woodlands that provide a significant contribution to the amenity, biodiversity, landscape character or historic character of the surrounding area, will not normally be permitted, except where there are clear overriding reasons for allowing the development and there are no suitable alternatives.

SADPD policy ENV 6 sets out a range of policy requirements relating to trees and hedgerows. Amongst other matters, it states that development should retain and protect trees, with the proposed layout being informed and supported by an appropriate arboricultural assessment.

The application site benefits from quite extensive established tree cover, none of which is presently afforded any statutory protection. The application is supported by an Arboricultural Impact Assessment & Method Statement (Tree Solutions). The report includes a survey of tree cover on the site and confirms the presence of 2 high quality A Category groups of trees, 16 individual moderate quality B Category trees, 10 low quality U Category trees and 1 poor quality U Category tree which is unsuitable for retention irrespective of the development proposal.

The majority of trees are shown to be retained with just one moderate quality and 1 low quality tree shown to be removed to accommodate the proposed access. The new dwelling and associated structures do not appear to present a significantly inferior relationship to what presently exists. The report and method statement include a tree protection plan and methodology which would be adhered to throughout the duration of any construction period and which makes provision for engineer designed surfacing where conflicts arise in the rooting areas of a retained tree. The Forestry Officer raises no objections to the proposal.

Local plan policies require that all developments should ensure the sustainable management of trees, woodlands and hedgerows including the provision of new planting within new development to retain and improve canopy cover, enable climate adaptation resilience and support biodiversity. This planning application provides an opportunity to incorporate new planting in accordance with this policy. It is recommended that if planning permission is granted a condition should be attached which requires the submission of a landscape scheme to meet the requirements of this policy.

There are subsequently no objections to the proposal in terms of impact on existing trees, and it is considered to comply with policies SE5 and ENV6 of the Local plan. In the event of approval, a number of conditions are recommended by the Forestry Officer to secure the matters considered above.

Living conditions

Policy SE 1 of the CELPS expects all development to be designed to ensure an appropriate level of privacy for new and existing residential properties. Policy HOU 12 of the SADPD states that development proposals must not cause unacceptable harm to the amenities of adjoining or nearby occupiers of residential properties, sensitive uses, or future occupiers of the proposed

development. Consideration must be given to matters such as loss of privacy, loss of daylight, overbearing effects, traffic generation and environmental disturbance.

In this case, it is considered that the proposed replacement dwelling and associated works give rise to no significant adverse impact to neighbouring amenity. The nearest neighbouring residential properties are over 100m away from the proposed dwellinghouse, which when coupled with the existing tree and hedge planting between would result in no concerns relating to amenity impact.

The replacement dwelling would remain to be just one residential unit and therefore no material increase in traffic generation or environmental disturbance is expected upon completion of the development.

It is therefore considered that the proposals are acceptable in this respect and comply with the relevant policies of the local plan.

Highways

CELPS policy SD 1 and SADPD policy INF 3 state that development proposal should provide safe access and sufficient car parking in accordance with adopted highway standards.

The new access provides sufficient visibility to serve the dwelling and the design includes for the gates to be sufficiently set back from the highway. On-site parking would exceed minimum standards.

Cheshire East Highways therefore raise no objections to the application, and the proposal complies with relevant highways policies in the local plan.

Flood Risk / Drainage

CELPS policy SE 13 and SADPD policy ENV 16 deal with flood risk and drainage implications of development. Between them, they expect development proposals to demonstrate the measures that will be taken to manage flood risk.

The Lead Local Flood Authority (LLFA) have reviewed the details submitted in support of the application and raise no objection in principle to the proposal. They have however requested additional information to be submitted including a fully detailed drainage strategy and management plan. As no concerns are raised as a matter of principle, the LLFA have recommended a condition for the submission and approval of these details in the event the planning application is approved.

United Utilities have commented on the proposal and do not raise an objection. In the event of approval, the applicant / developer should be made aware of their requirements and recommendations contained within their written response.

Subject to the condition recommended by the LLFA, the proposed development would be acceptable from a flood risk management perspective.

Public Rights of Way

A public footpath (Over Alderley FP9) passes through the site, following its north-western border. SADPD policy INF 1 states that development proposals that would lead to the loss or degradation of a public right of way (such as a footpath, cycleway or bridleway) or a permissive path (such as a canal towpath) will not be permitted.

The Public Rights of Way Definitive Map Officer has reviewed the proposal and considers the development unlikely to affect the public right of way. In the event of approval, an advice note has been given to be attached to any planning consent to ensure that developers are aware of their obligations.

Comments from the East Cheshire Group of the Ramblers are noted, however given the view of the PRow team above, a refusal could not be sustained in this instance.

Contamination

In accordance with CELPS policy SE 12, development for new housing or other environmentally sensitive development will not normally be permitted where existing air pollution, soil contamination, noise, smell, dust, vibration, light or other pollution levels are unacceptable and there is no reasonable prospect that these can be mitigated against.

The Council's Contaminated Land team have no objection to the proposal, subject to a number of conditions concerning reducing contamination risk to future occupiers. These conditions include a requirement for all imported soils to be tested, and a procedure to be followed should previously unidentified contamination be discovered.

Subject to the recommended conditions, the proposed development would be acceptable with regard to land contamination risk.

Air Quality

Environmental Protection Officers have recommended a condition requiring the installation of an electric vehicle (EV) charging point at the new dwelling in the interests of local air quality.

However, the amended Building Regulations (which came into force in June 2022), require the installation of an EV charging point at all most new residential properties. Planning decisions should not duplicate the function of other regulatory bodies or controls, and therefore as the development would be subject to the amended Building Regulations it is not necessary to impose such a planning condition.

Planning Balance – Very Special Circumstances

As set out above, the proposal would represent an inappropriate form of development in the Green Belt. In accordance with NPPF paragraph 147:

inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances

Paragraph 148 then continues:

When considering any planning application, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt

‘Very special circumstances’ will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations

The main consideration is therefore whether there are any ‘very special circumstances’ which would outweigh the substantial Green Belt harm, and the other harm identified in relation to character and appearance, and protected species.

The applicant has accepted that the proposal would represent an inappropriate form of development in the Green Belt and have therefore presented a case of other considerations in which they believe would be ‘very special circumstances’. These considerations relate to the high-quality design of the building, including its architecture and sustainability credentials.

High-Quality Design

Supporting information supplied with the application states that “the proposal is an exceptional piece of design, complemented by an equally comprehensive and considered landscape”. A peer review of the proposals has been carried out by representatives of the Traditional Architecture Group (TAG), and the proposal has also been subject to an assessment by e*SCAPE Urbanists who have provided an Urban Design Review.

The various parties involved have provided a number of conclusions, including:

“the project has the potential to be an elegant and unique ‘jewel’ of a small country house. Equally suited to its time as much as to a long provenance of building classical villas”

“This property, located and set into the landscape will add to the area’s wealth of existing country villas and be a positive asset replacing the current ad-hoc extended property with something that is cohesive, vibrant and unique”

“This proposed replacement dwelling at Adders Moss should be seen as a unique asset to the parish going far and above the design quality of many replacement dwellings found in this part of the borough. It should be used as a benchmark and exemplar of what will be expected from such developments in the future that claim to utilise Georgian/Palladian architecture as their inspiration”

In order for the high-quality design to clearly outweigh the substantial Green Belt harm, it will have to demonstrate how it would represent a ‘very special circumstance’. Whilst NPPF paragraph 80(e) is not strictly applicable to this proposal as it relates to a replacement dwellinghouse rather than a new isolated rural dwellinghouse, it still acts as a useful tool in assessing the quality of design. If the design of the proposed dwelling were found to be truly outstanding and of exceptional quality, then it would also very likely meet the very special circumstances test.

As set out in the Character, Design & Landscape section of this report, it is accepted that the proposed detailed design represents a high-quality example of architecture. However, whilst this element of the design is considered to be high-quality, it does not naturally follow that it would outweigh the identified Green Belt harm, which in this case is substantial.

Other elements of the design, including the overall scale of the building within its context and the proposed landscaping were found to be inappropriate, and therefore significantly reduce the amount of weight that can be given to the overall design of the proposal outweighing the identified harm.

Sustainability

A Sustainability Statement was submitted during the course of the application setting out a number of measures which could be incorporated into the development. These include:

- Seek to meet RIBA 2025 operational energy use target of 60 kWh/m²/a
- LED lighting
- Ventilation strategy
- Controlled swimming pool heating
- Ground source heat pumps
- Underfloor heating
- Wood burning stove (as opposed to open fireplace)
- Roof mounted solar photovoltaics
- Ground mounted solar photovoltaics
- Responsibly and locally sourced materials
- Reuse of materials
- Refuse and recycling space contained in outbuildings
- Low water consumption fittings and appliances
- Tree planting

All of the various elements presented in this scheme would clearly be seen as a positive in that they would contribute to the mitigation and adaptation of climate change to a degree. However, a large proportion of the different elements proposed are generally becoming to be commonplace in developments, therefore limiting the weight they can be given as exceptional or outstanding design credentials.

It is also noted that the Sustainability Statement does not offer a genuine commitment to the installation of the listed features; there are many references stating that these features 'may' or 'could' be implemented. Again, this further limits the weight that the Sustainability Statement carries in support of the proposal.

The statement accepts that roof mounted solar photovoltaics will offer limited generating potential due to the small number that could be installed. They would also be difficult to integrate aesthetically. Ground mounted solar panels are also suggested, however the Sustainability Statement states that they would also result in a detrimental visual impact, so renewable energy from the National Grid would be sourced instead. It is unlikely that solar photovoltaic panels will therefore be installed. As an alternative, the sourcing of renewable energy from the grid is not uncommon for a typical household to achieve, and therefore very limited weight is given to this matter in the overall balance.

Very Special Circumstances Summary

For the above reasons, whilst there are found to be a number of high-quality elements in terms of the detailed design of the proposal, there are also others which are not found to be appropriate within the context of the site itself or the character and appearance of the wider area. Concerns are also raised with regard to the sustainability credentials that have been put forward in support of the proposal. There is nothing that is truly outstanding, which goes substantially beyond the level of sustainability that is often seen incorporated into buildings.

There are no reasons as to why a Green Belt policy-compliant dwellinghouse cannot be achieved in this location whilst also being of high-quality design and incorporating the sustainability measures presented. An inappropriate dwellinghouse in the Green Belt is not a necessary requirement to deliver these positive benefits.

Overall, whilst some elements of the proposal are accepted to demonstrate high-quality design, there are other elements that do not. The proposed development would not be truly outstanding, nor would it significantly enhance its immediate setting. It would therefore fail to be considered as a 'design of exceptional quality' as defined by paragraph 80(e) of the NPPF, which is a useful indicator in assessing the amount of weight that should be attached to the merits of a proposed development's design.

As the design quality and other sustainability principals presented are not considered to clearly outweigh the substantial Green Belt harm and the other additional harm, the proposal remains to be considered an inappropriate form of development in the Green Belt.

CONCLUSIONS AND RECOMMENDATION

The proposal represents an inappropriate form of development in the Green Belt as it would not meet any of the exceptions to inappropriate development as defined by the CELPS and the NPPF.

Substantial weight is given to this harm. Very special circumstances which clearly outweigh the harm will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations.

In addition to the Green Belt harm, additional harm has also been identified in relation to the adverse impact on openness the development would have which contributes further the substantial Green Belt harm.

Significant weight is attached to the harm in which the proposal would have on the character and appearance of the site itself and the wider landscape, due to the scale of the dwellinghouse being inappropriate and the parts of the proposed wider landscaping scheme also failing to preserve the character of the area.

Substantial weight is attached to the ecology harm that would arise due to the loss of bat roosts which would cause High severity of impact on the local scale and a Moderate impact on the species concerned at the regional scale. Although mitigation is proposed, given the identified Green Belt harm and harm to the character and appearance of the area, there are no overriding

reasons to approve the application proposals and therefore the development is deemed contrary to the Habitat Regulations and the ecology policies contained within the local plan.

No concerns are raised in terms of highway safety, heritage conservation, trees, flood risk, public rights of way, residential amenity, land contamination or air quality matters. Subject to conditions as outlined in this report, these matters carry neutral weight in the planning balance.

Paragraph 148 of the NPPF is clear that in the Green Belt 'very special circumstances' will not exist unless the harm to the Green Belt, and any other harm, is clearly outweighed by the other considerations. As such, in order for the planning application to be approved, the overall balance would need to be in favour the applicant's case. The high-quality design and sustainability considerations presented by the applicant are not deemed to clearly outweigh the combined harm to the Green Belt and the other identified harm.

As a result, the 'very special circumstances' required by the NPPF and the local plan have not been demonstrated in this case and the proposed development remains to be an inappropriate form of development in the Green Belt. The proposal would also have an adverse impact on protected species and would fail to positively contribute to the character of the area. The application is therefore recommended for refusal.

RECOMMENDATION

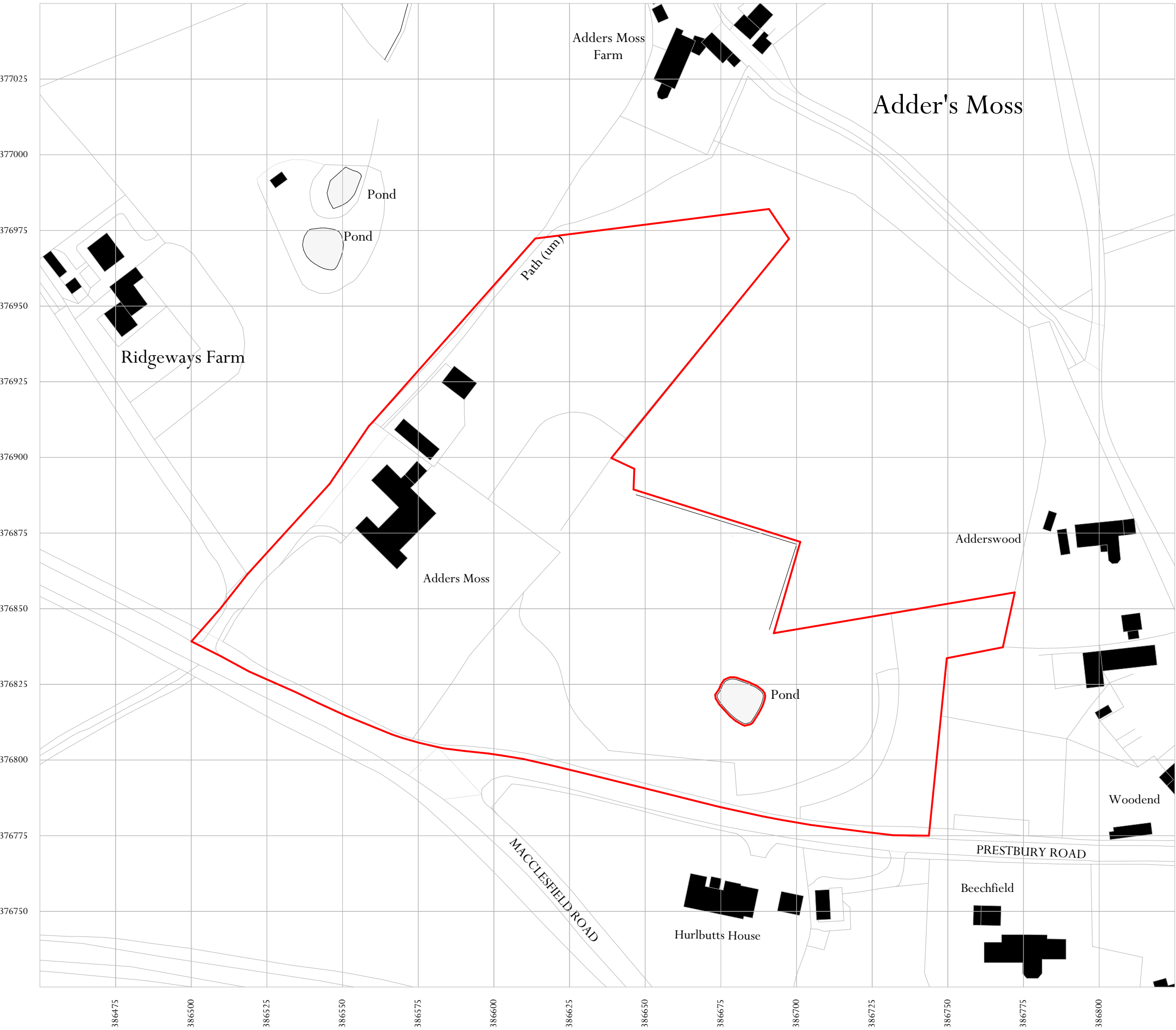
REFUSE for the following reasons:

- 1. The proposal would represent an inappropriate form of development in the Green Belt, to which substantial weight is given. Additional harm would also be created by virtue of the loss of openness the development would result in. Very special circumstances that would clearly outweigh the harm to the Green Belt, and the other identified harm, do not exist. The proposed development would therefore be contrary to Cheshire East Local Plan Strategy policy PG 3; Site Allocations and Development Policies Document policy RUR 13; and the provisions of Chapter 13 of the National Planning Policy Framework.**
- 2. The size and appearance of the proposed Classical, country estate style dwellinghouse would appear out of scale within the context of the relatively modest plot in which it would be located. Together with the inappropriate proposed gated access and perimeter boundary treatment, the development would fail to make a positive contribution to the area and it would fail to preserve the character and appearance of the wider landscape. The proposed development would therefore be contrary to Cheshire East Local Plan Strategy policies SD 1, SD 2, SE 1 and SE 4; Site Allocations and Development Policies Document policies GEN 1 and RUR 13; and the provisions of Chapters 12 and 15 of the National Planning Policy Framework.**
- 3. The proposed development would have a moderate-high impact upon a maternity colony and minor roost of bats, which are protected and priority species. The reasons for or benefits of the proposed development do not outweigh the adverse impacts of the proposed development upon these species and so the proposals are contrary to Cheshire East Local Plan Strategy policy SE 3; Site Allocations**

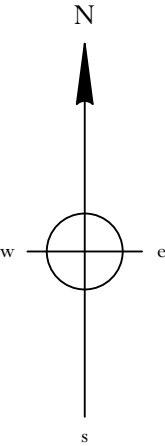
and Development Policies Document policy ENV 2; and Chapter 15 of the National Planning Policy Framework. In considering the application under the Habitat Regulations, the proposed development is not of overriding public interest and there are suitable alternatives to the proposal which would have a reduced impact upon bats. The application therefore fails to comply with the licensing tests in the Habitat Regulations. Natural England would consequently be unlikely to grant a protected species license in this instance.

In order to give proper effect to the Committee's intentions and without changing the substance of the decision, authority is delegated to the Head of Planning, in consultation with the Chairman (or in his absence the Vice Chair) of Northern Planning Committee to correct any technical slip or omission in the wording of the resolution, between approval of the minutes and issue of the decision notice.

22/0692M
ADDERS MOSS,
MACCLESFIELD ROAD,
OVER ALDERLEY, MACCLESFIELD,
SK10 4UD



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01	-	07/06/2022	-	Update to site red line ommiting pond.	TG
Rev		Date		Description	Initials

PROJECT Adders Moss

TITLE: Site Location Plan

SCALE: 1:1250 @A3

DATE: 07/2022

DRAWING No:6257/001 Rev 01

DRAWN BY: TG



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01	-	07/06/2022	-	Update to site red line ommiting pond.	TG
Rev	Date	Description			Initials

PROJECT Adders Moss Replacement House
Adders Moss, Cheshire

TITLE: Proposed Site Plan

SCALE: 1:500 @A1

DATE: 03/2023

DRAWING No: 6257/002 Rev 02

DRAWN BY: TG



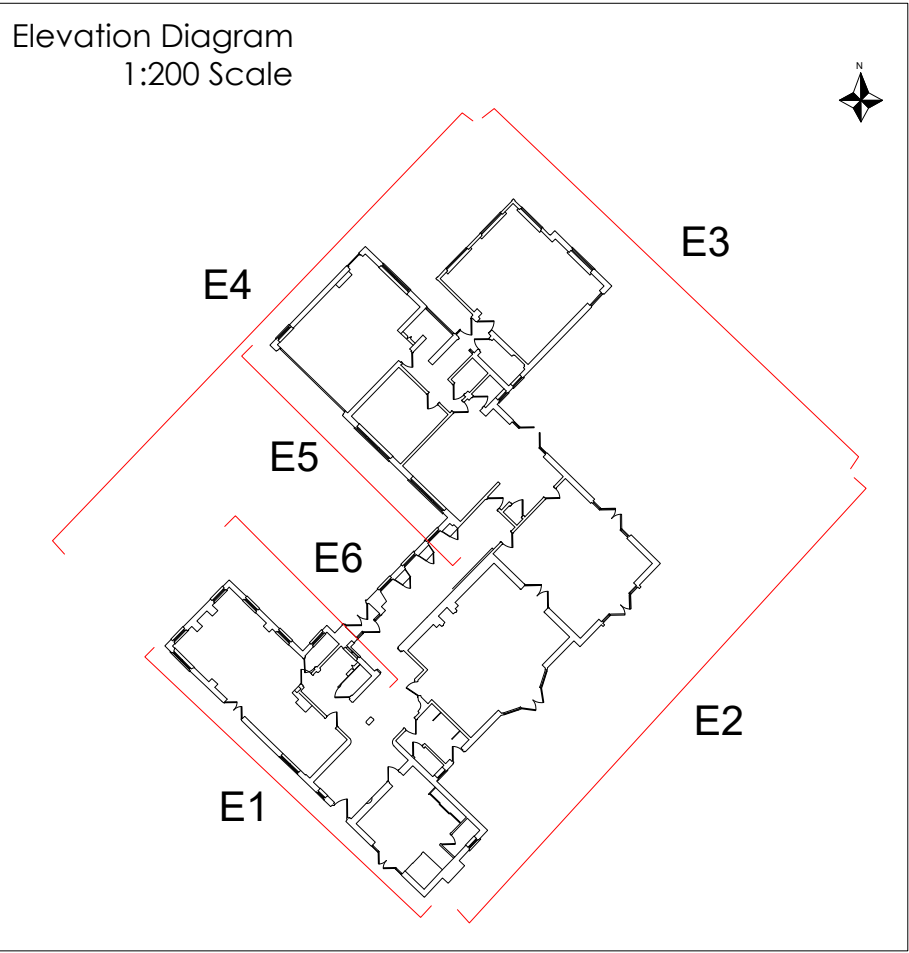
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Elevation 1
1:50 Scale



Elevation 2
1:50 Scale

Client:
Mr K Hares

Application:
Adders Moss Replacement Dwelling

Drawing title:
Elevations as Existing- Dwellinghouse Drawing 1

Scale:
1:50; 1:200 @ A1

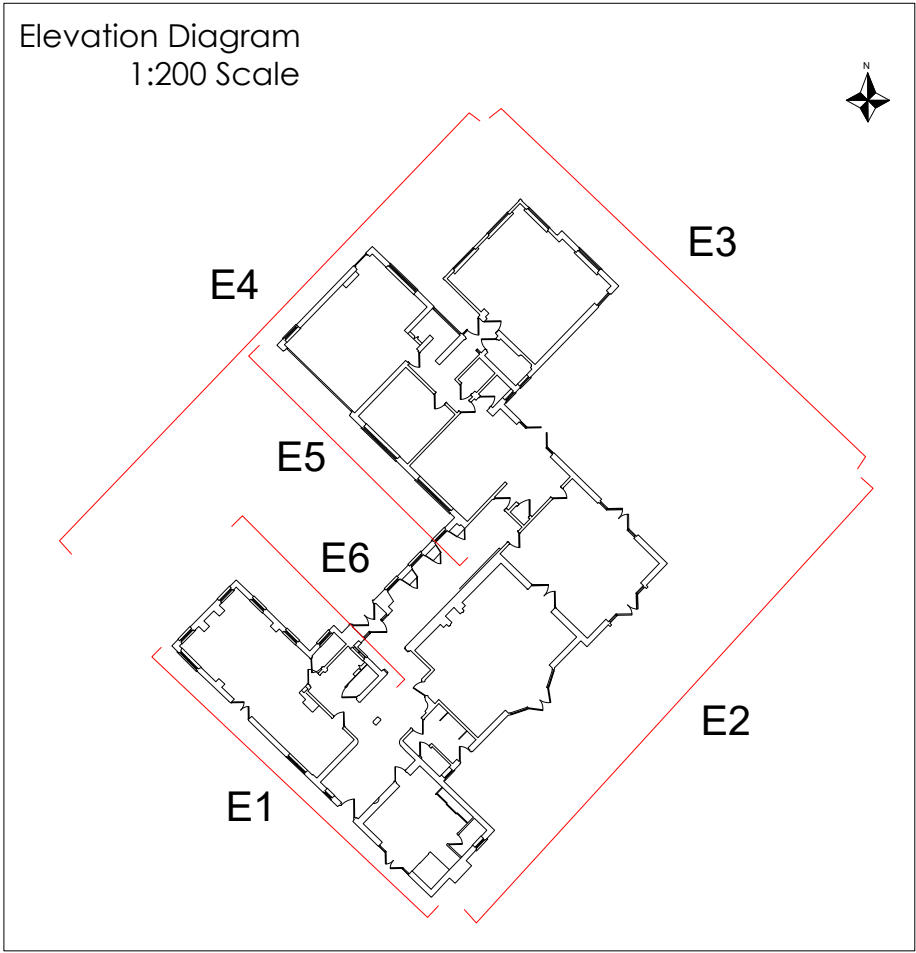
Drawing number:
1291/J210067/001.1

Date:
1 February 2022

Drawn by:
SK



WHARFE
RURAL PLANNING
Sapling Home Farm, Ullard Hall Lane, Lower
Peover, Knutsford, Cheshire WA16 9PJ
T : 0 1 5 6 5 7 2 3 7 9 5
E: info@wharferuralplanning.co.uk
W: www.wharferuralplanning.co.uk



Client:
Mr K Hares

Application:
Adders Moss Replacement Dwelling

Drawing title:
Elevations as Existing- Dwellinghouse Drawing 2

Scale:
1:50; 1:200 @ A1

Drawing number:
1291/J210067/002.1

Date:
1 February 2022

Drawn by:
SK



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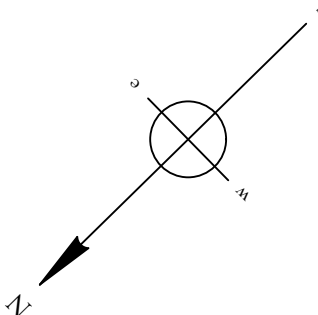
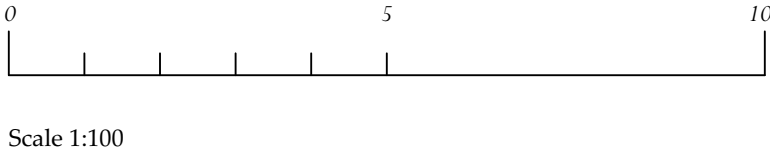
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Rev	Date	Description	Initials
PROJECT		Adders Moss Replacement House Adders Moss, Cheshire	
TITLE:		Existing Dwelling Ground Floor	
SCALE:		1:100 @A1	
DATE:		02/2022	
DRAWING No:		6257/014	
DRAWN BY:		TG	

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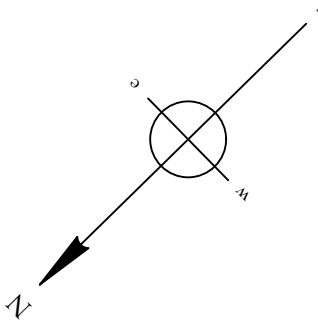
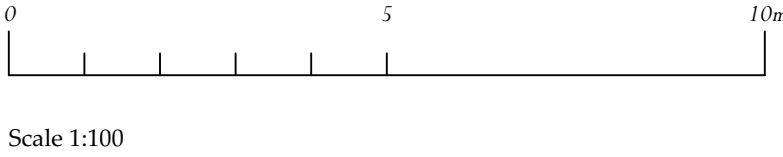
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Rev	Date	Description	Initials
PROJECT		Adders Moss Replacement House Adders Moss, Cheshire	
TITLE:		Existing Dwelling First Floor	
SCALE:		1:100 @A1	
DATE:		02/2022	
DRAWING No:		6257/015	
DRAWN BY:		TG	

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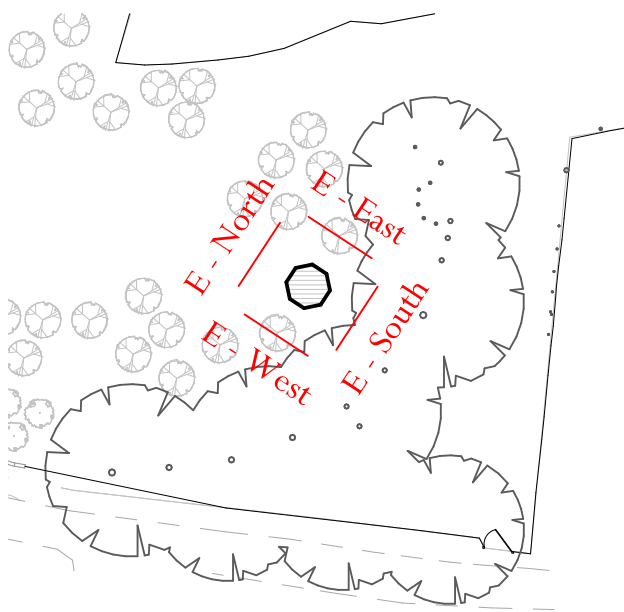
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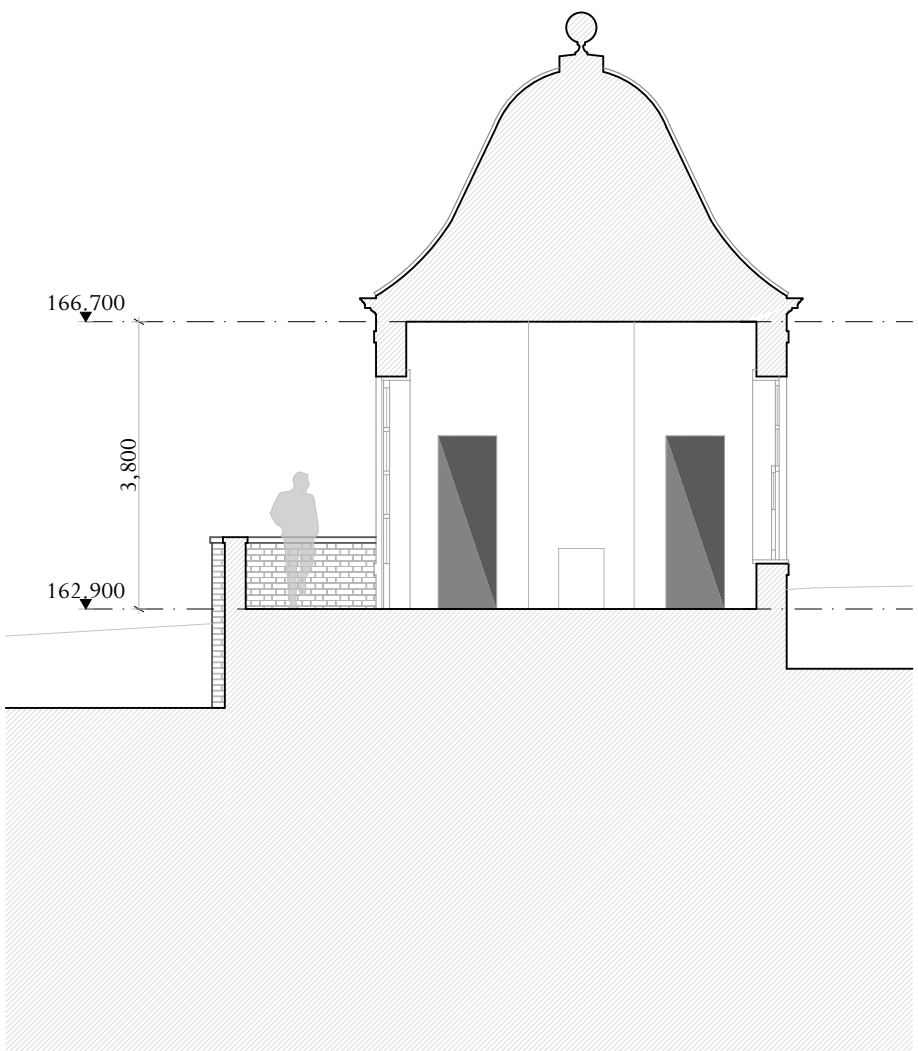
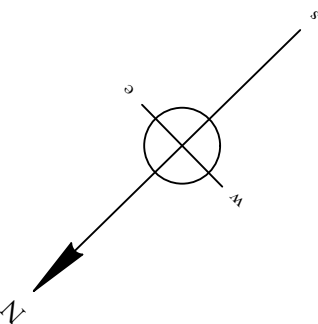
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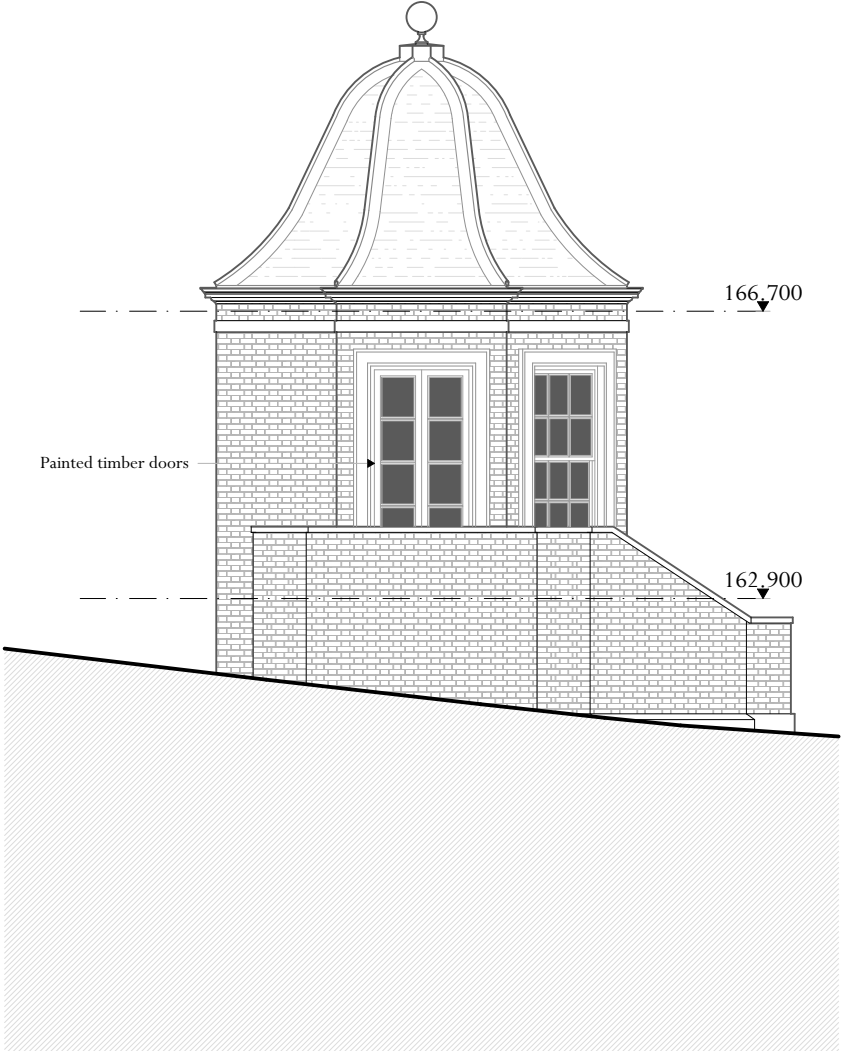
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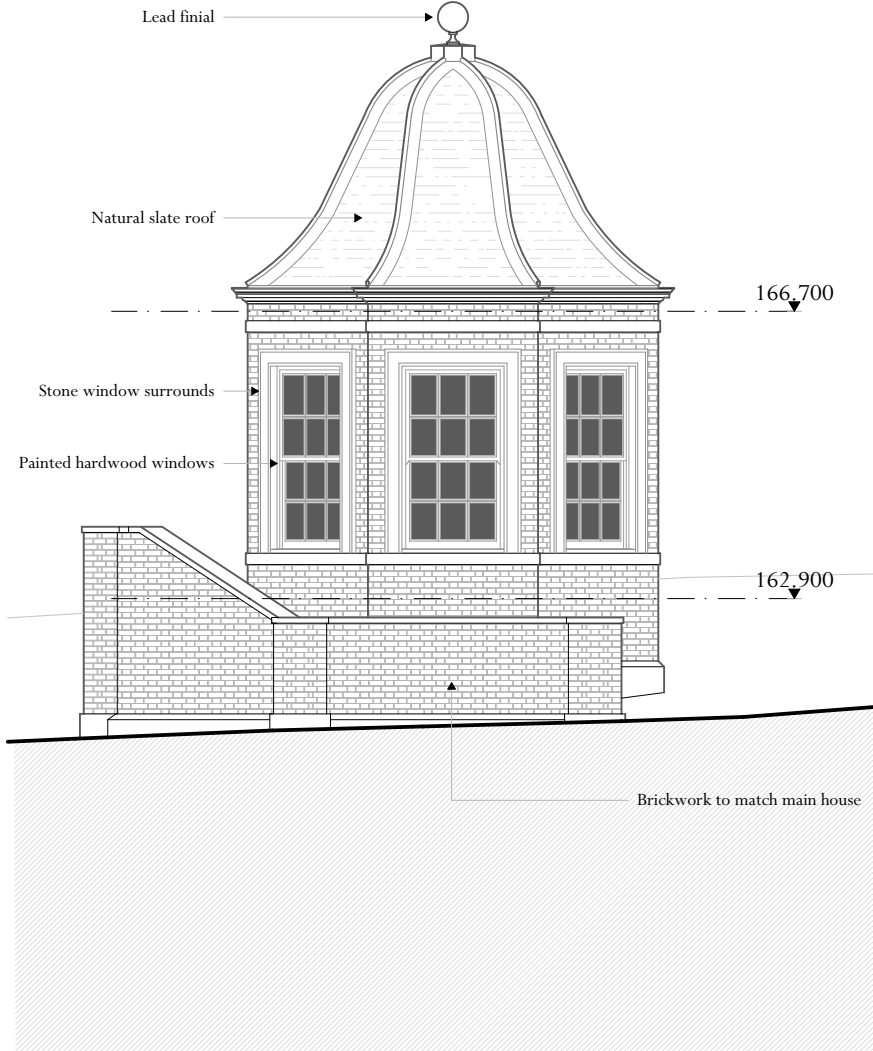
Key Plan



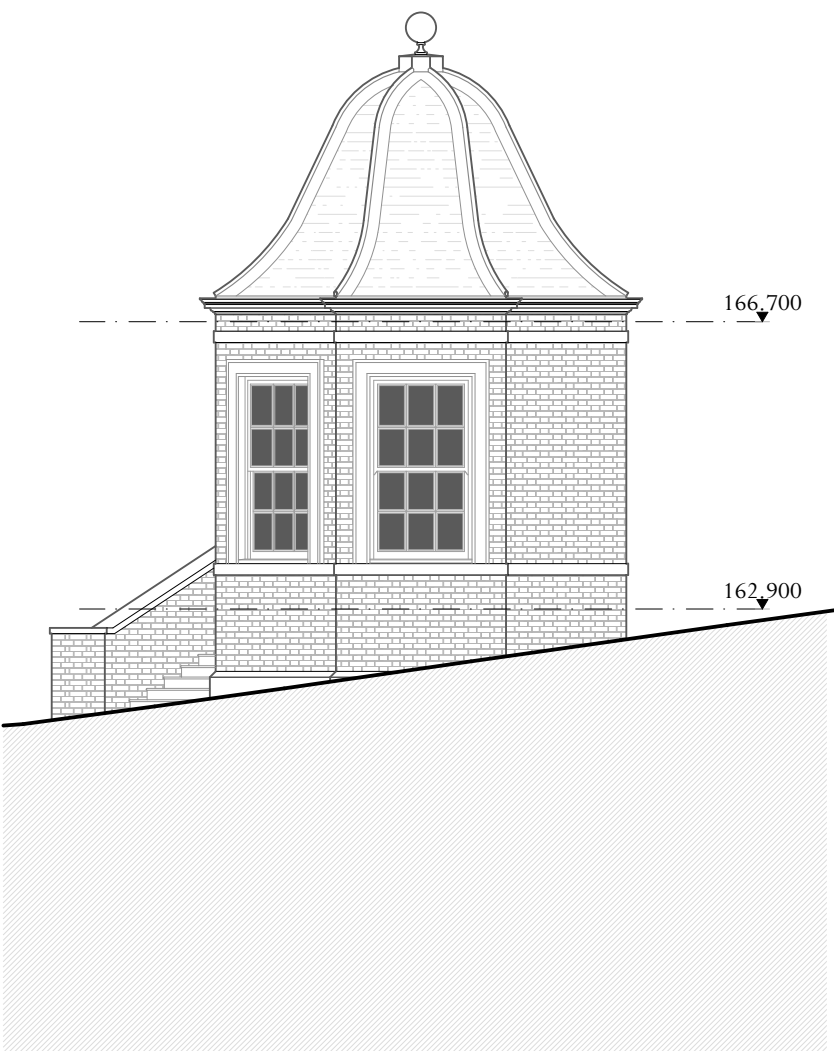
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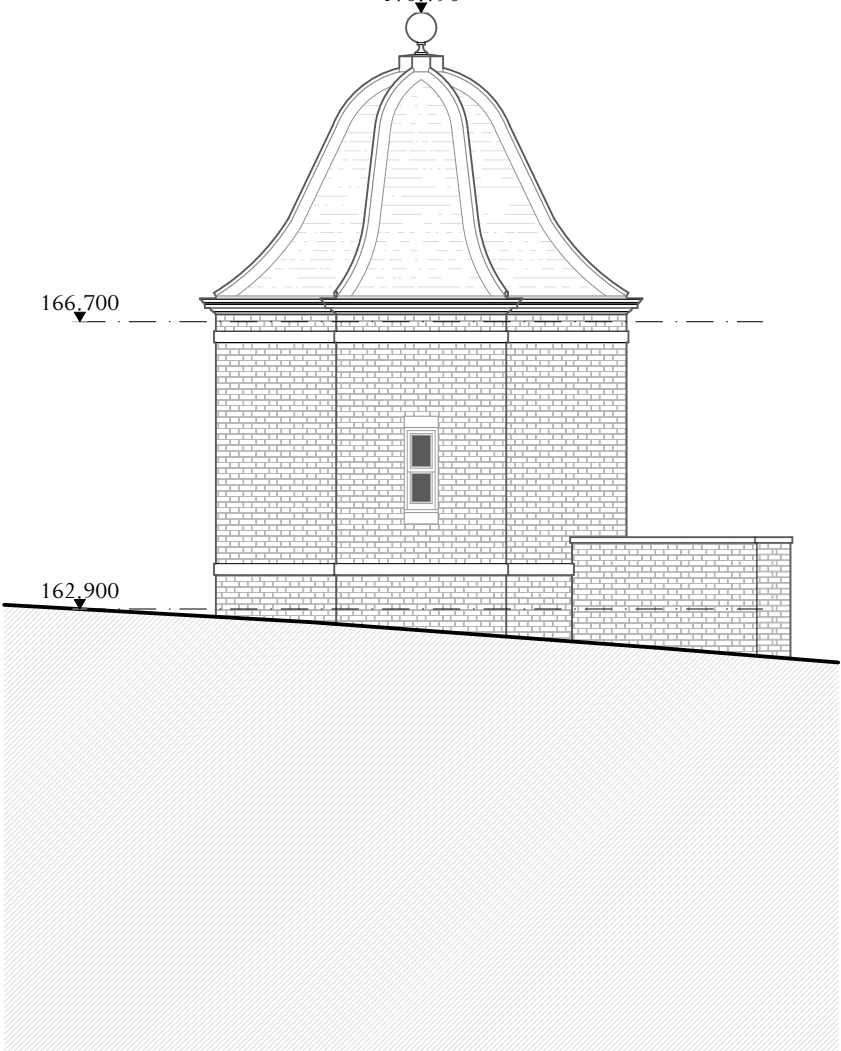
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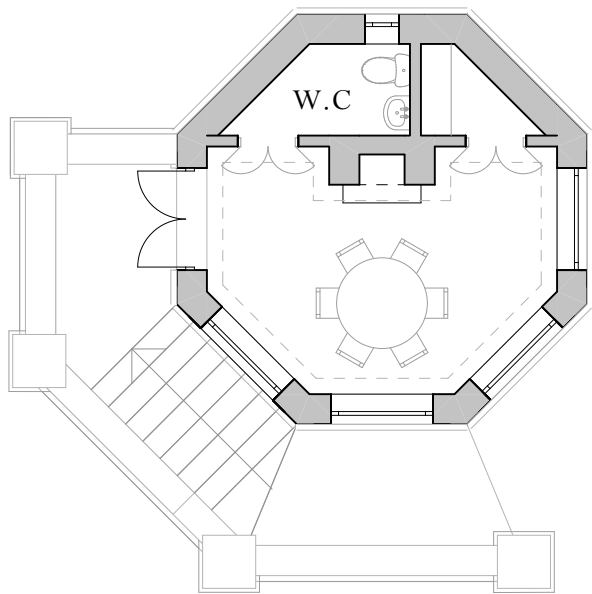
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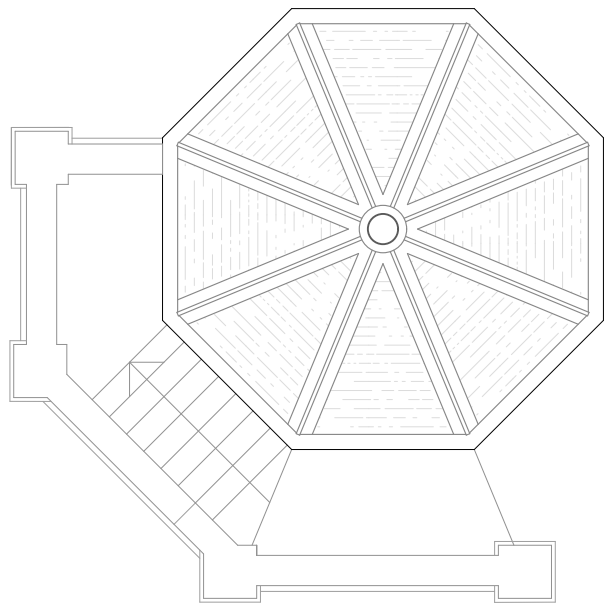
WEST



SOUTH



GROUND



ROOF

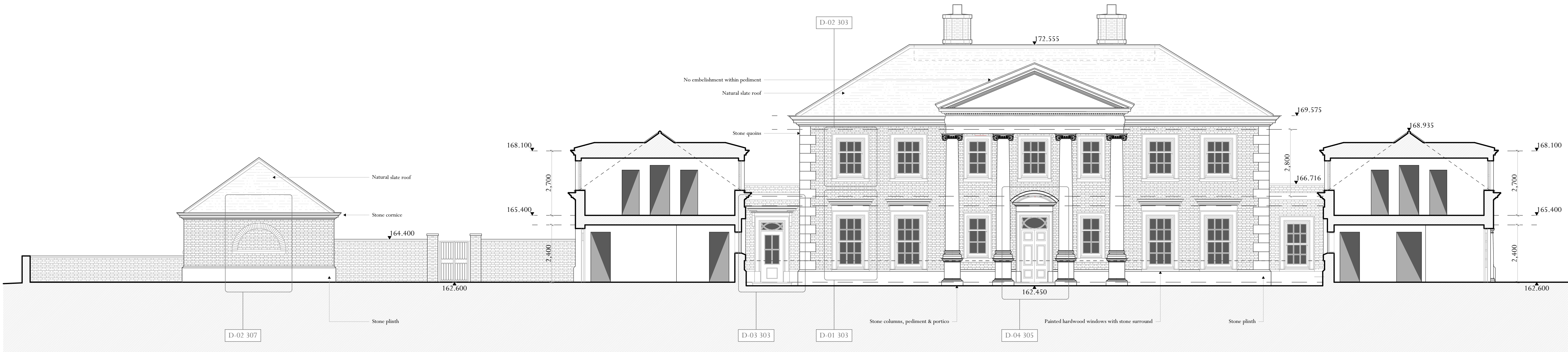
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PROJECT		Adders Moss Replacement House Adders Moss, Cheshire	
TITLE:		Belvedere	
SCALE:		1:100, 1:1000 @A1	
DATE:		02/2022	
DRAWING No:		6257/009	
DRAWN BY:		TG	



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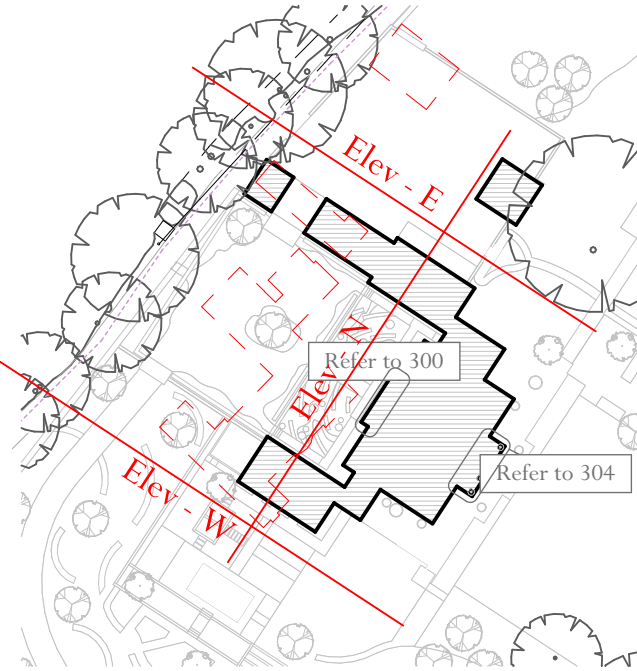
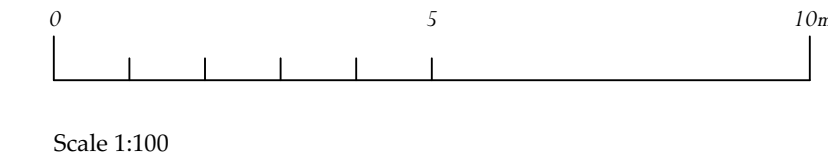
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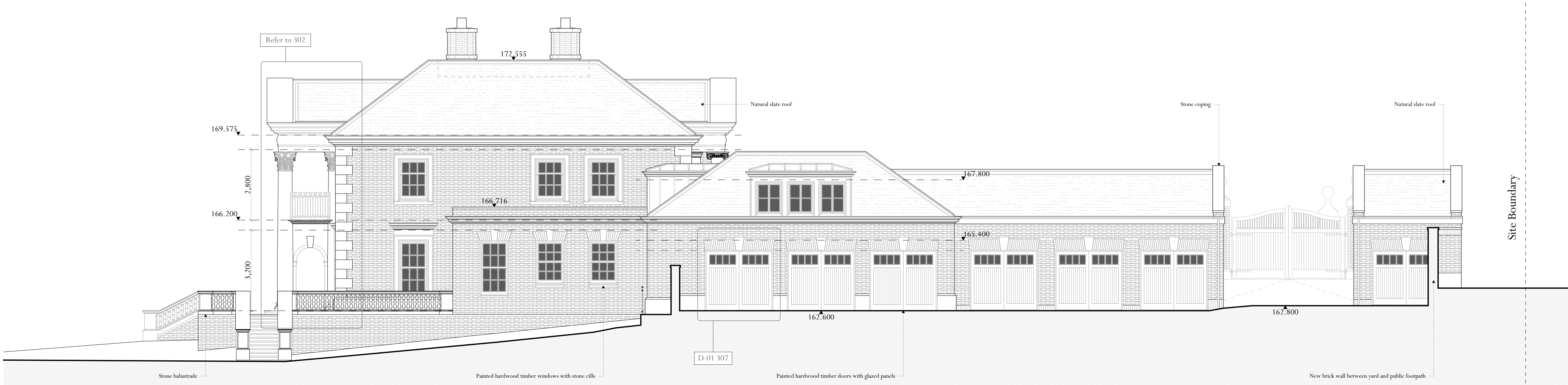


Proposed Elevation - Estate Office - North

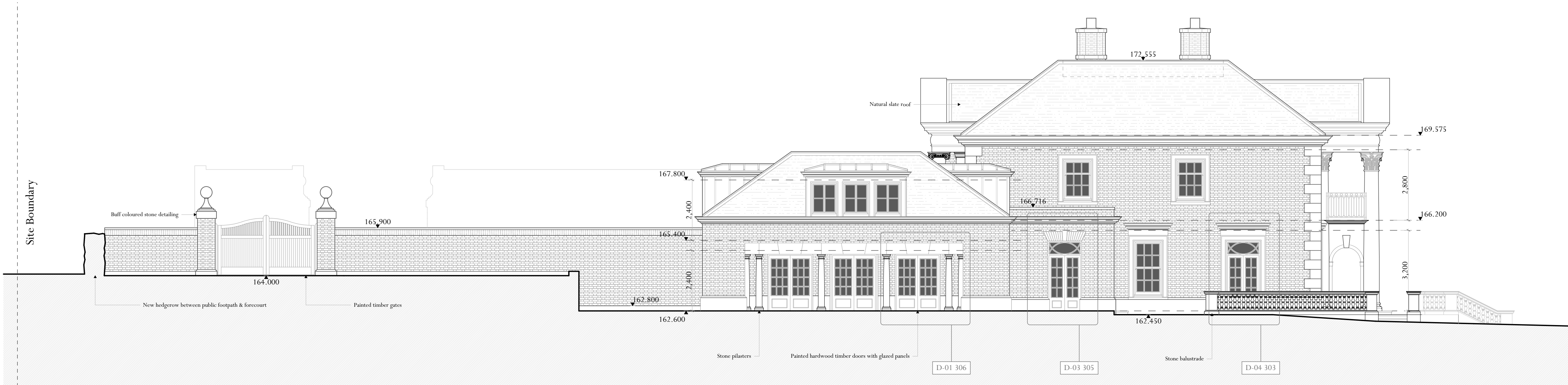
Proposed Elevation - Main House & Associated Wings - North



Key Plan



Proposed Elevation - Main House & Garage Wing - East



Proposed Elevation - Main House & Lesiure Wing West

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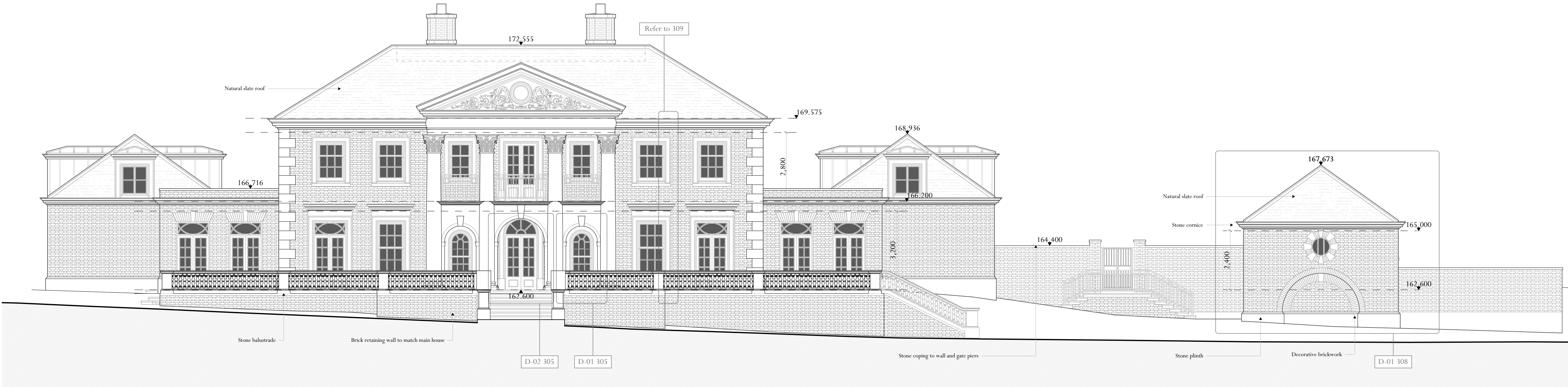
Rev	Date	Description	Initials
PROJECT		Adders Moss Replacement House Adders Moss, Cheshire	
TITLE:		Proposed Elevations A	
SCALE:		1:100 @ A1	
DATE:		02/2022	
DRAWING No:		6257/006	
DRAWN BY:		TG	

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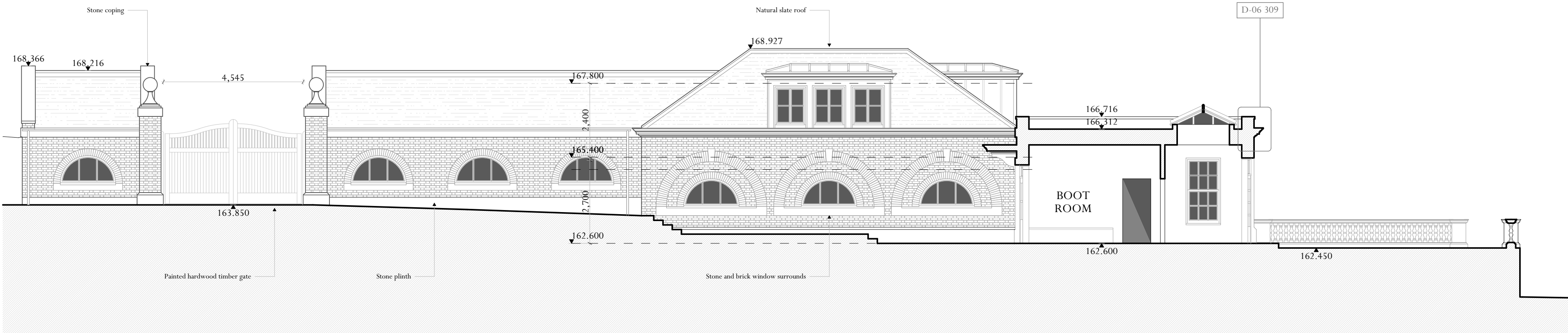
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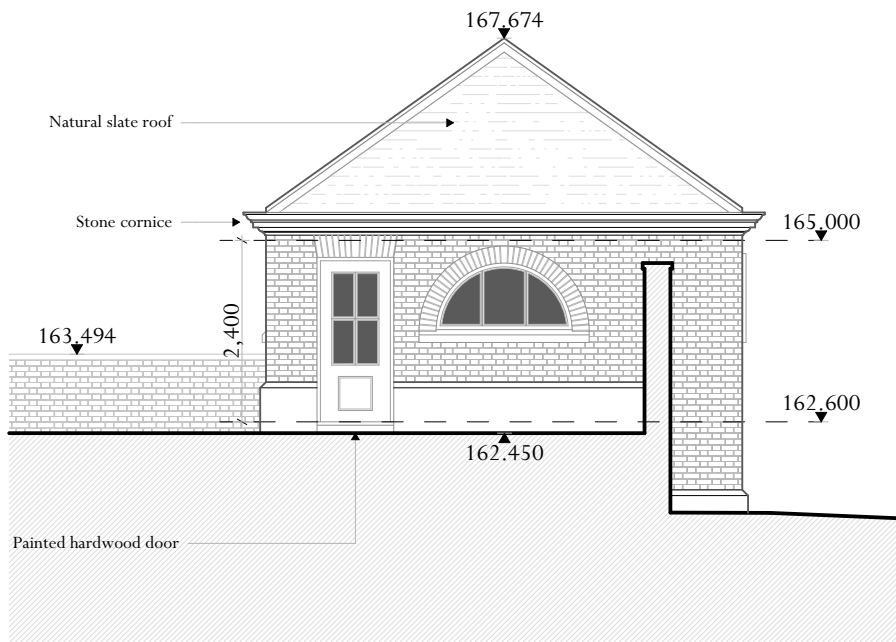


Proposed Elevation - Main House & Associated Wings - South

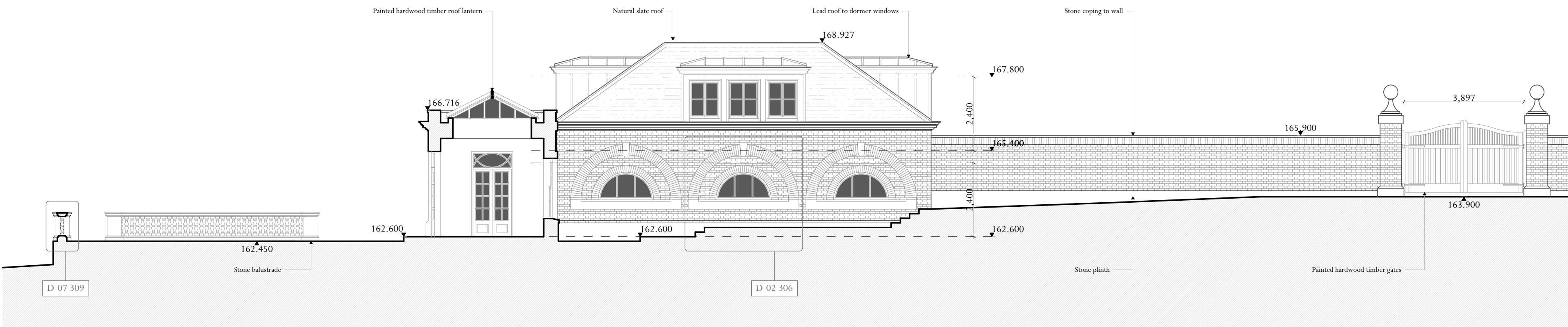
Proposed Elevation - Estate Office - South



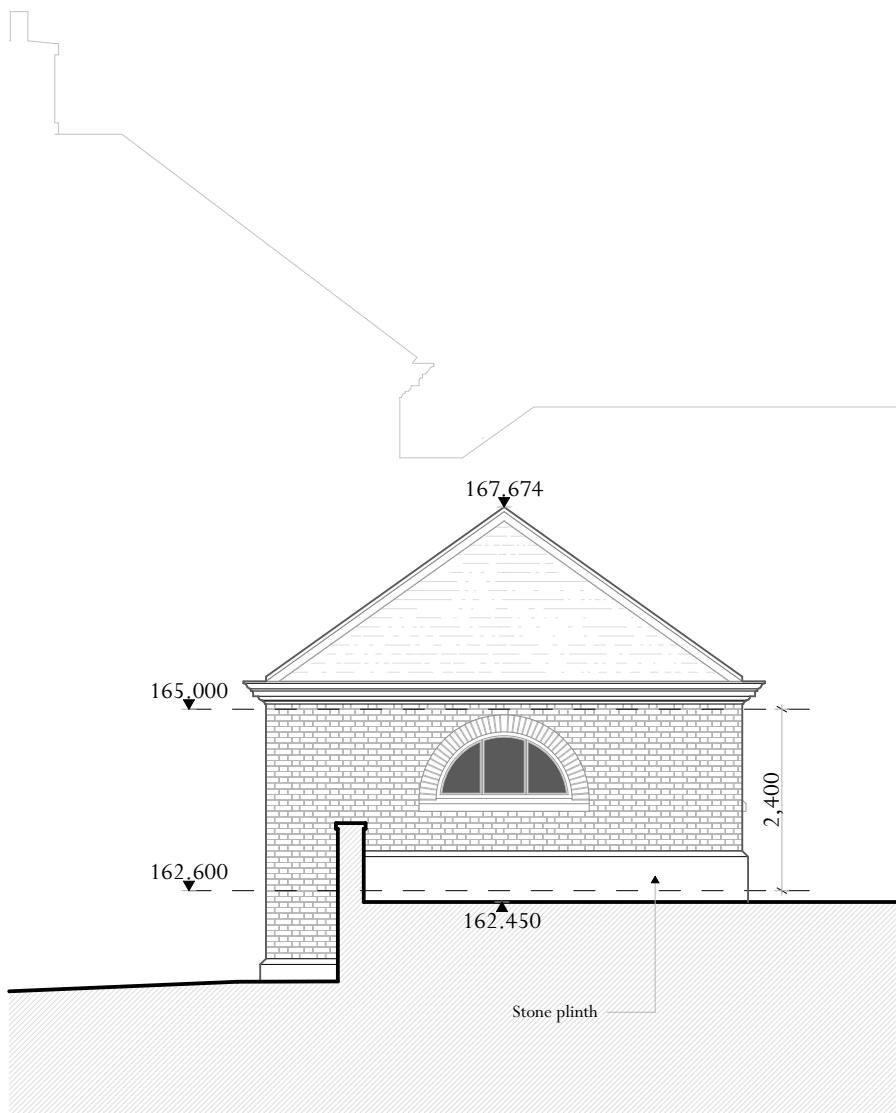
Proposed Elevation - Garage Wing - West



Proposed Elevation - Estate Office - East

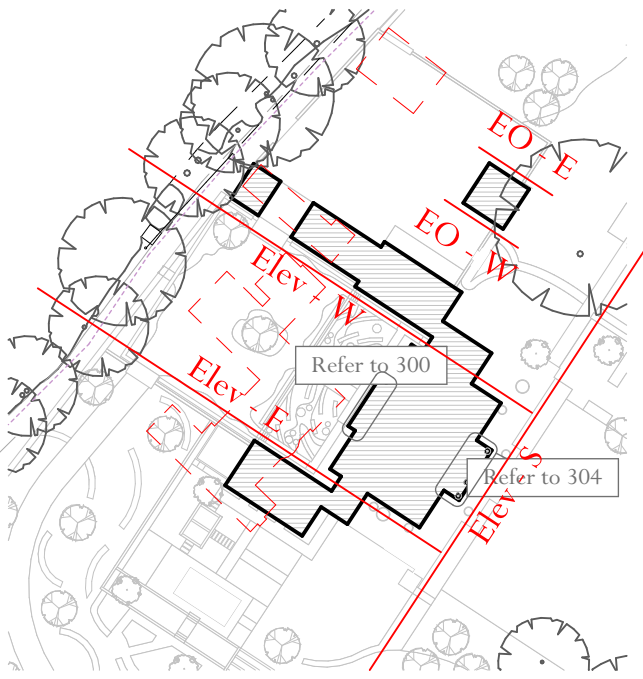
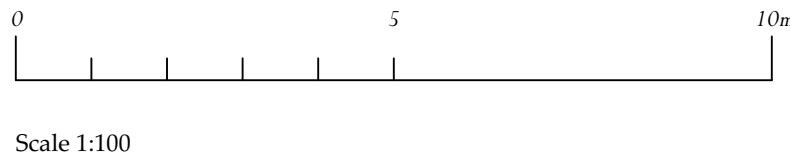


Proposed Elevation - Lesiure Wing - East



Proposed Elevation - Estate Office - West

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Key Plan

Rev	Date	Description	Initials
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PROJECT	Adders Moss Replacement House
	Adders Moss, Cheshire

TITLE:	Proposed Elevations B
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SCALE:	1:100 @ A1
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DATE:	02/2022
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DRAWING No:	6257/007
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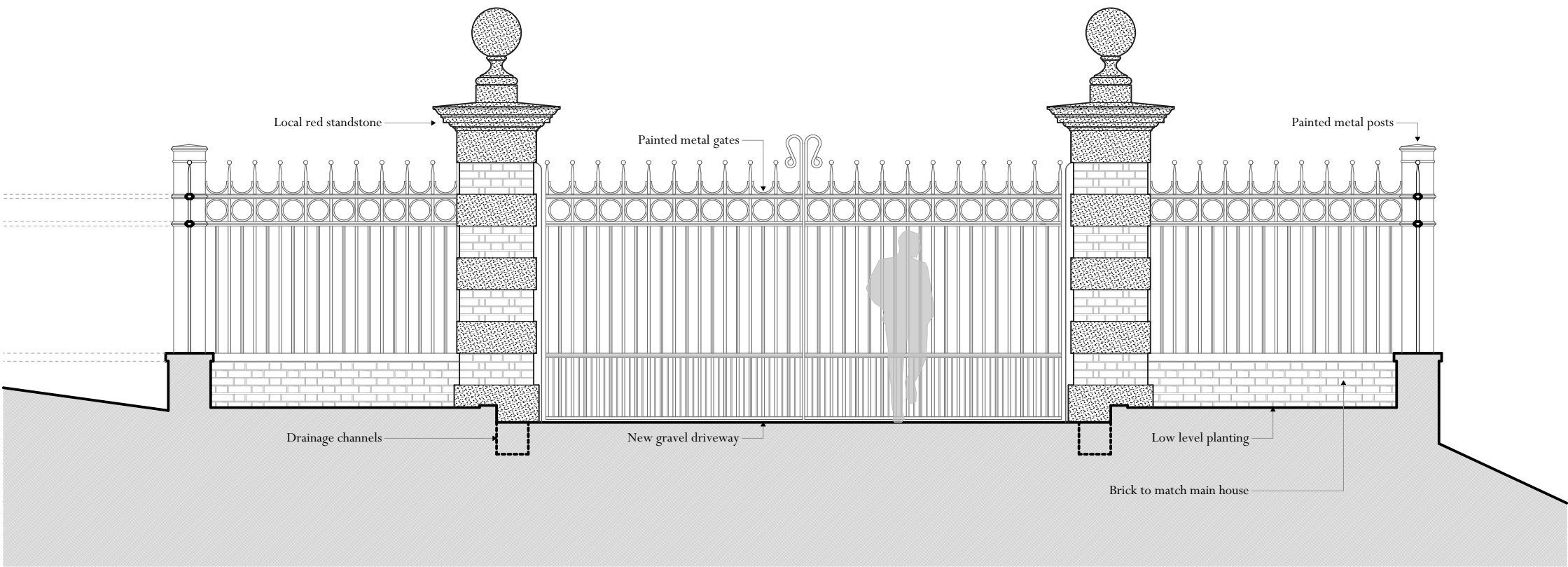
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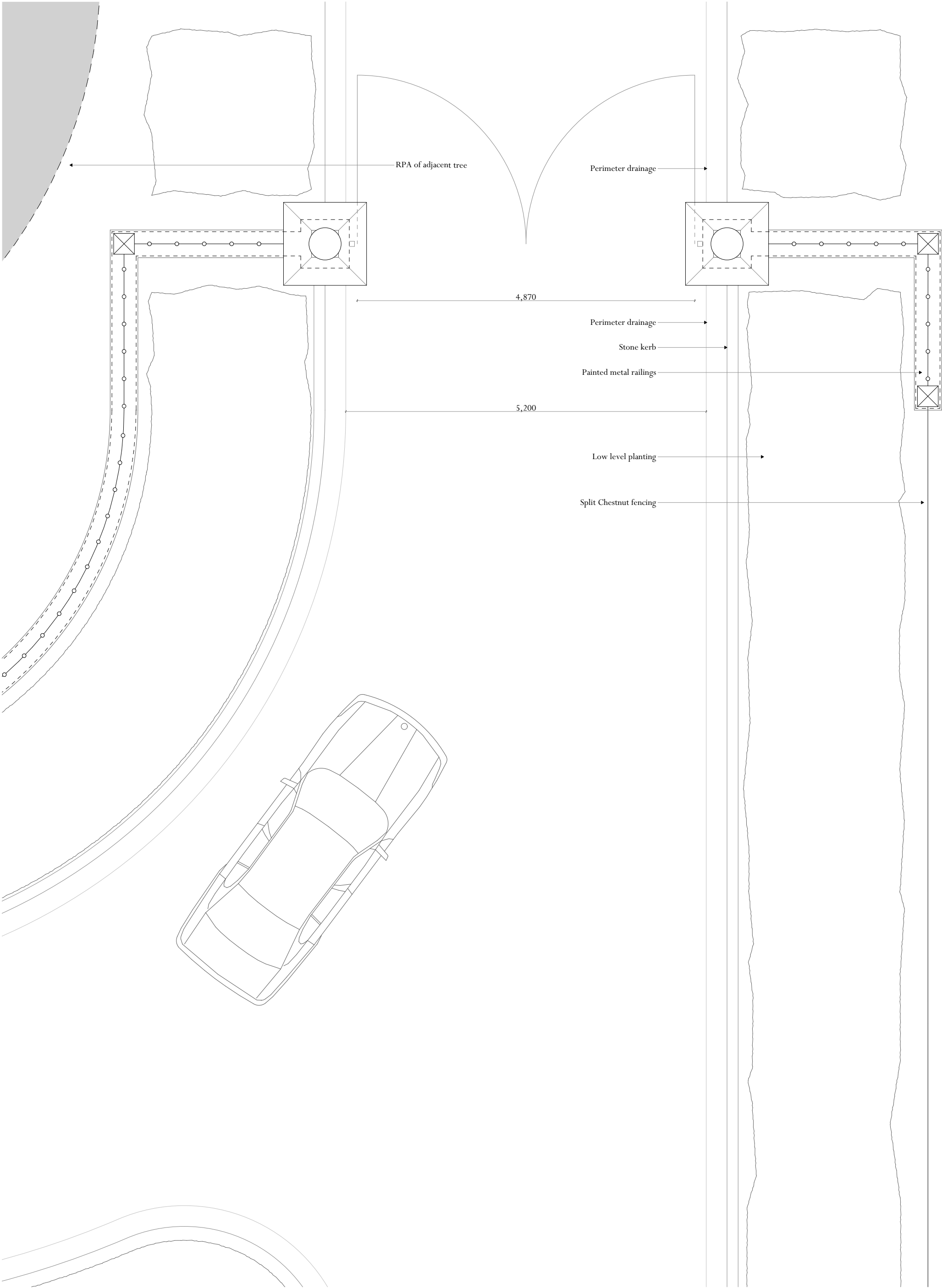
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LONDON, WC2R 1LA, TEL. 020 7841 0140

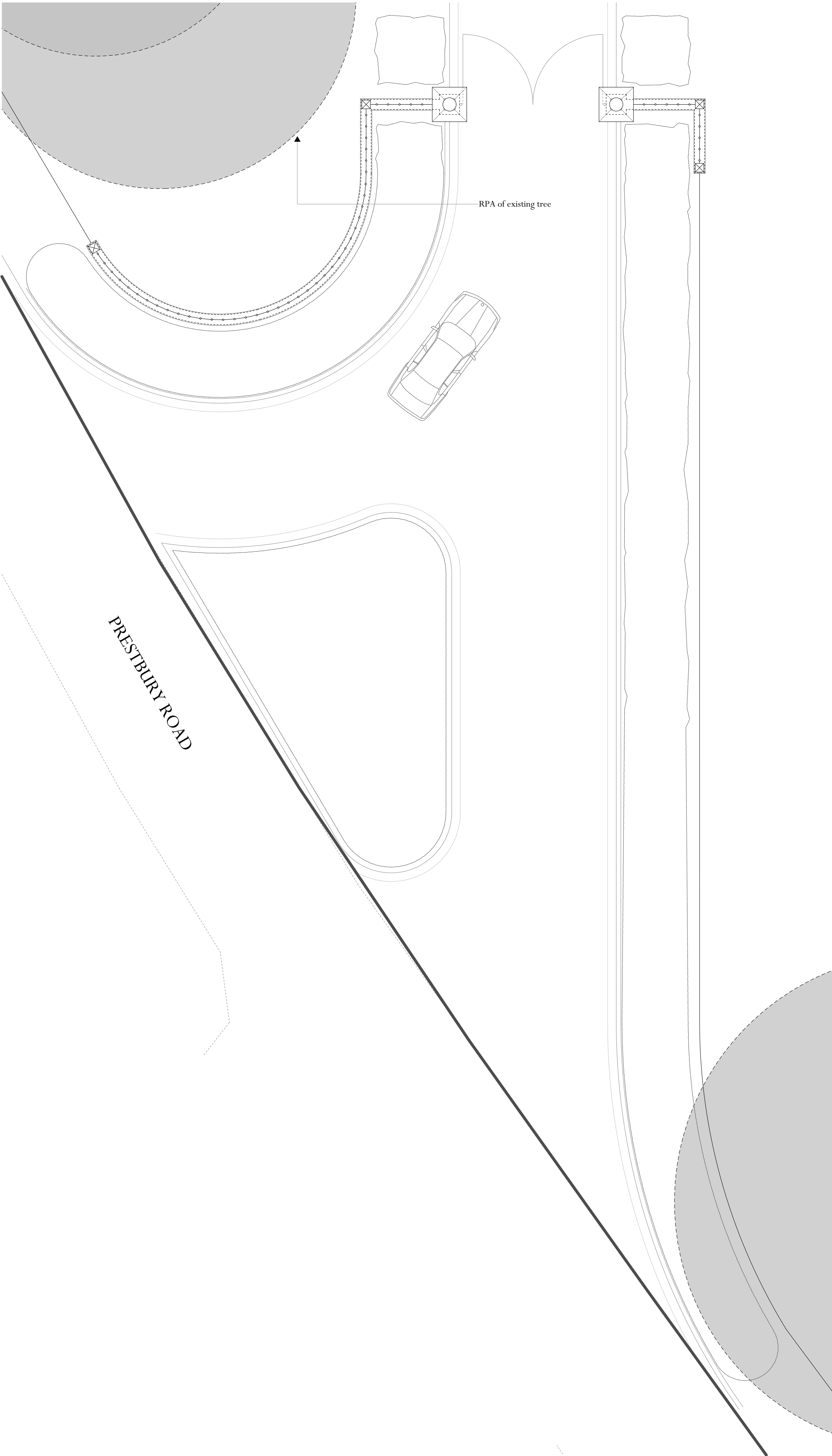
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Proposed Elevation - Entrance Gates & Fencing

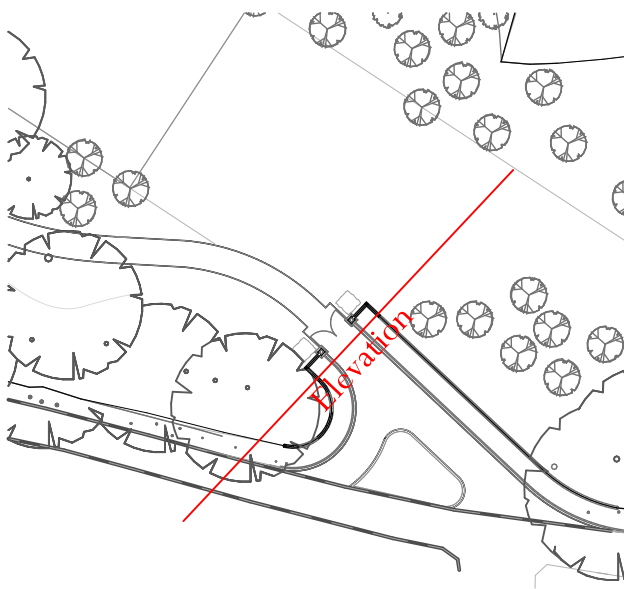
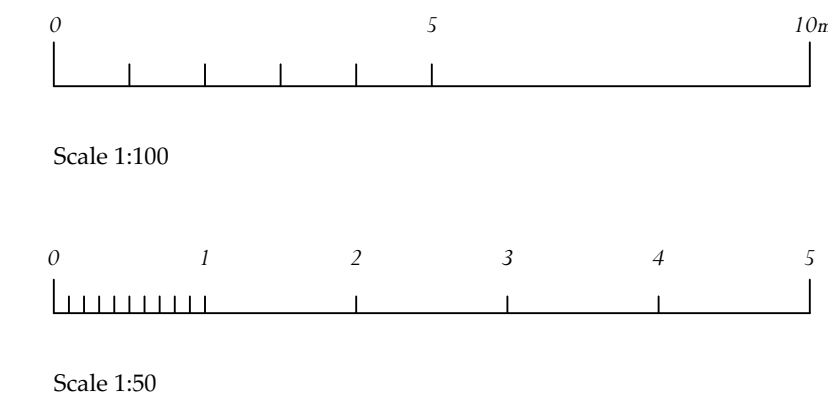


Proposed Plan - Entrance Gates

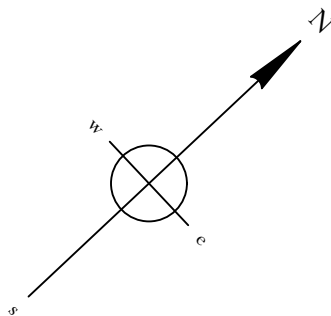


Proposed Plan - Entrance Gates and Roadway

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Key Plan



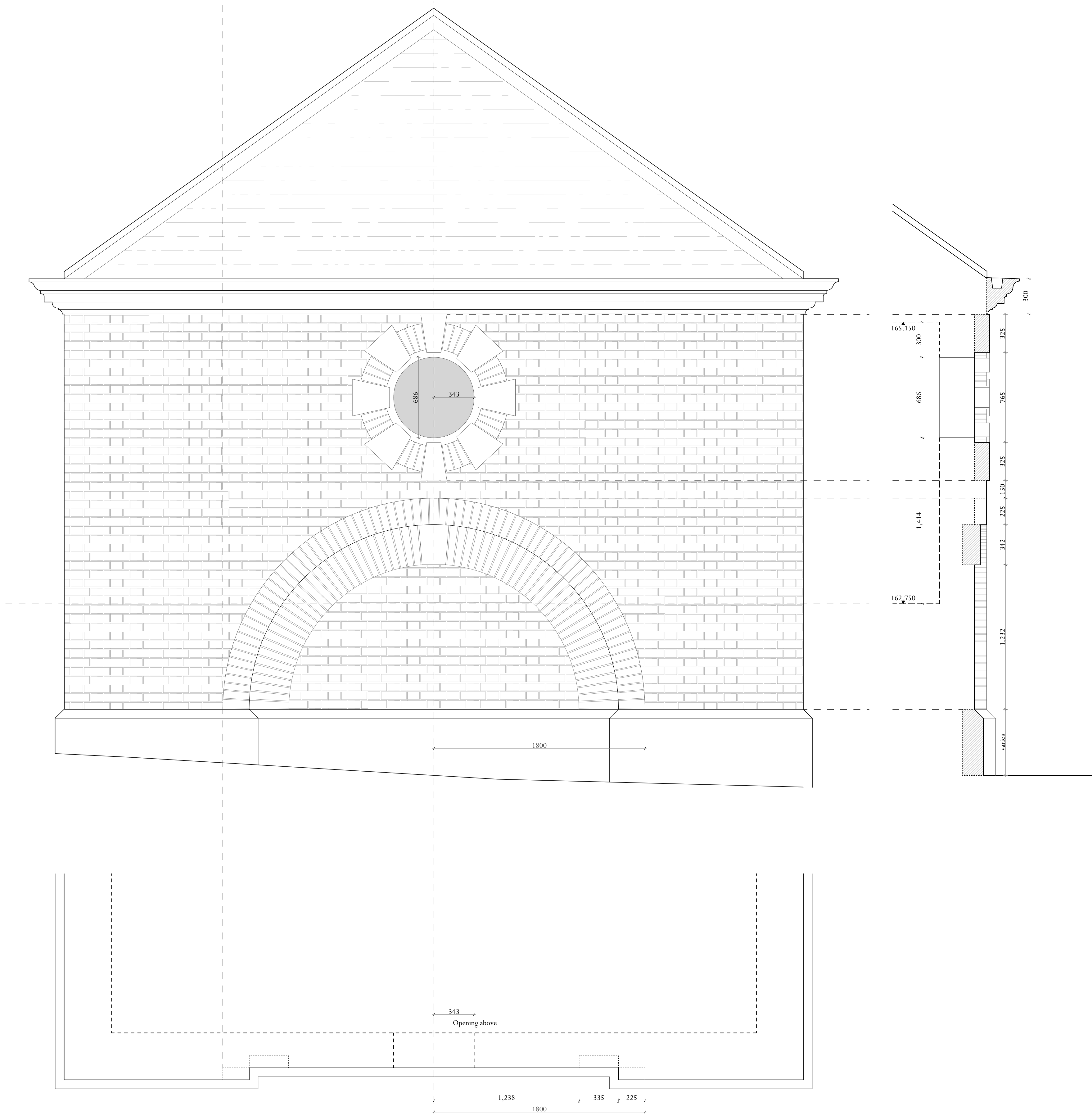
Rev	Date	Description	Initials
PROJECT		Adders Moss Replacement House Adders Moss, Cheshire	
TITLE:		Proposed Entrance Gate	
SCALE:		1:50 & 1:100 @ A1	
DATE:		03/2023	
DRAWING No:		6257/011 Rev 02	
DRAWN BY:		TG	

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D-01
Estate Office - Garden Elevation

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Rev	Date	Description	Initials
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PROJECT	Adders Moss Replacement House
	Adders Moss, Cheshire

TITLE:	Estate Office
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SCALE:	1:20 @A1
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DATE:	02/2022
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DRAWING No:	6257/308
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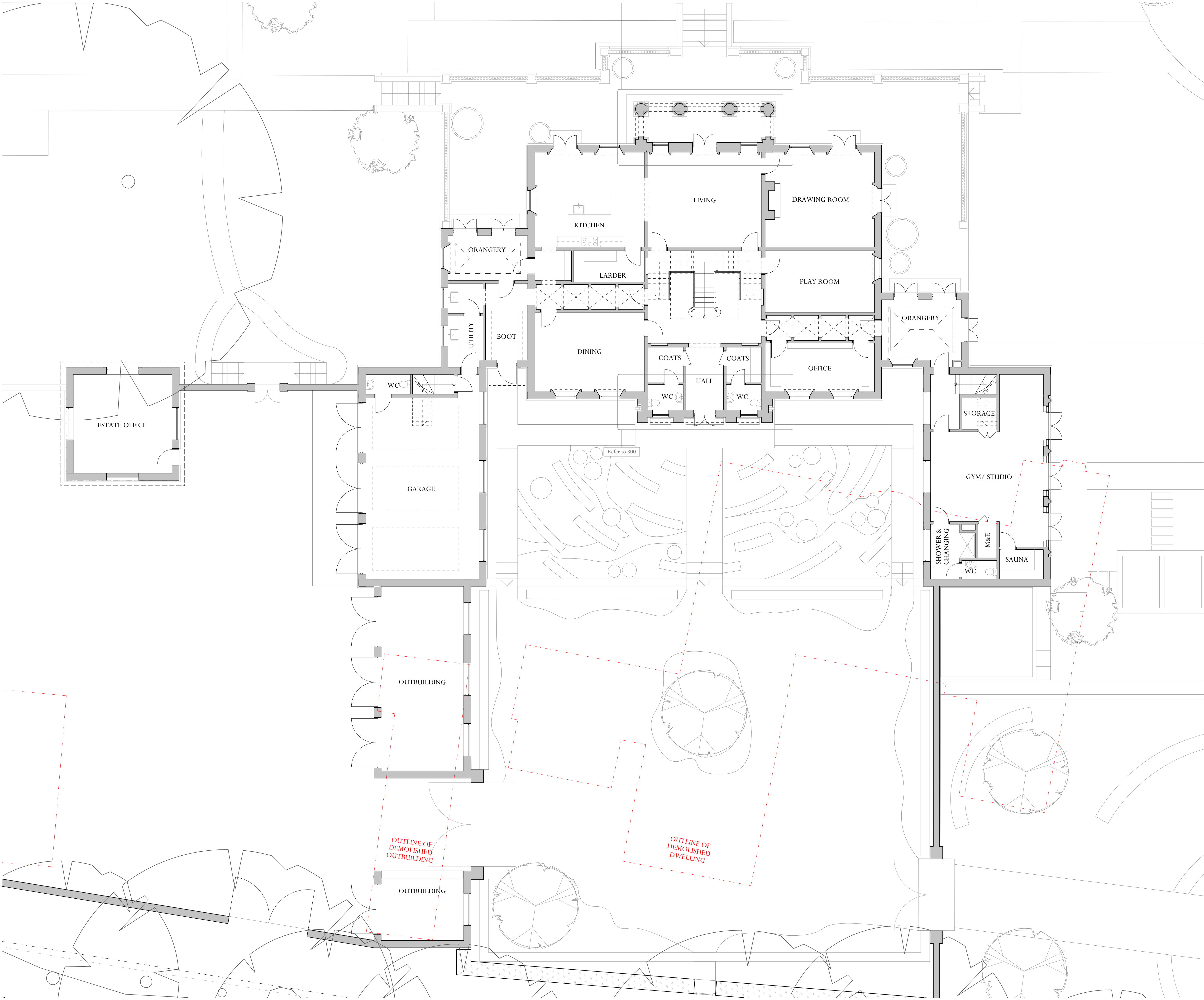
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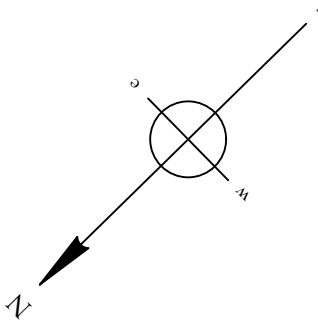
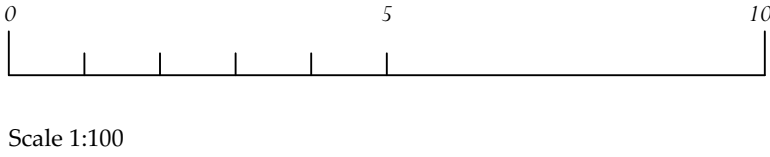
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Rev	Date	Description	Initials
PROJECT			
		Adders Moss Replacement House	
		Adders Moss, Cheshire	
TITLE:			
		Proposed Ground Floor	
SCALE:			
		1:100 @A1	
DATE:			
		02/2022	
DRAWING No:			
		6257/003	
DRAWN BY:			
		TG	

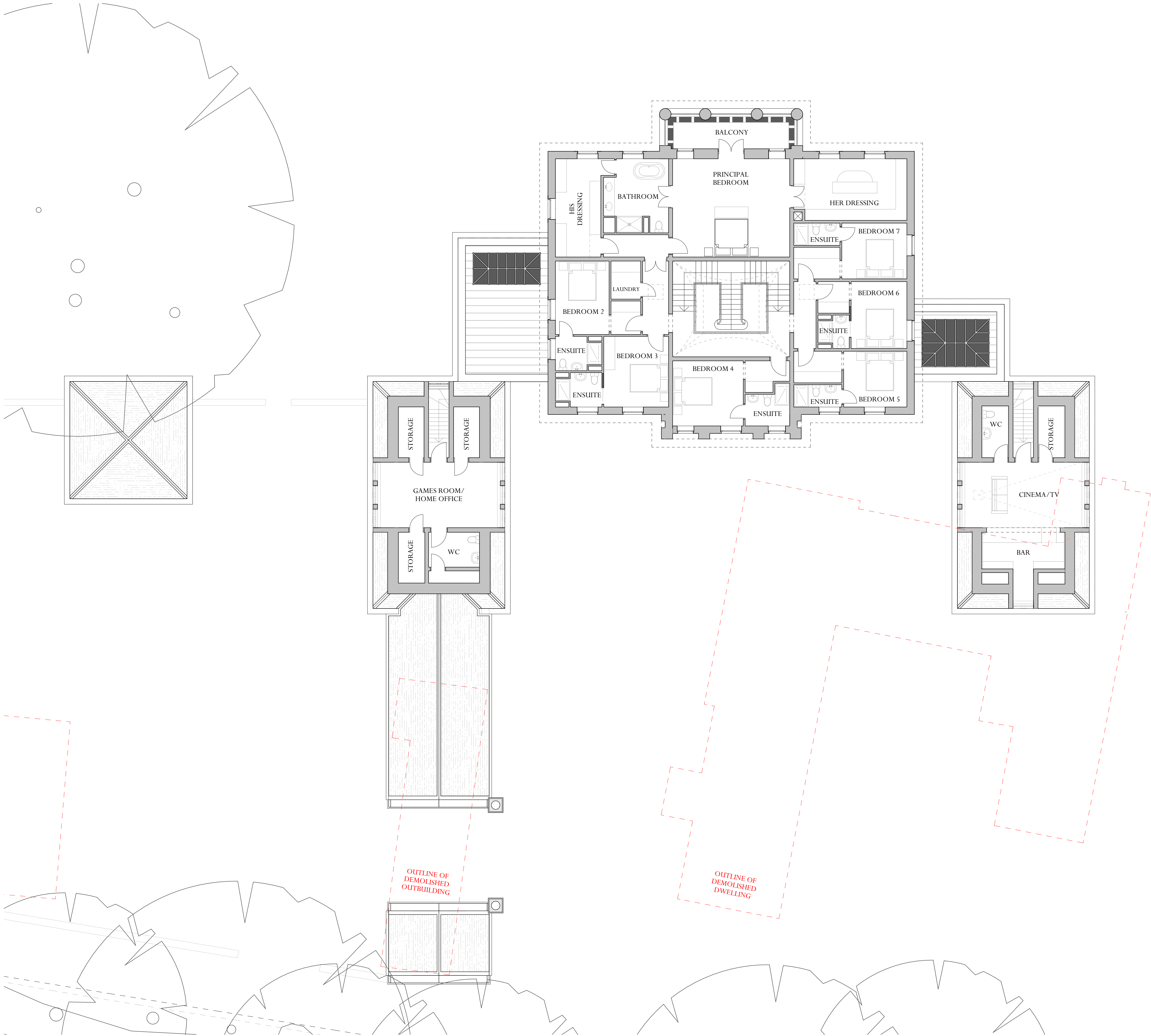
ADAM

ARCHITECTURE

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Adjacent Properties and Boundaries are shown for illustrative purposes only and have not been surveyed unless otherwise stated.

All areas shown are approximate and should be verified before forming the basis of a decision.

Do not scale other than for Planning Application purposes.

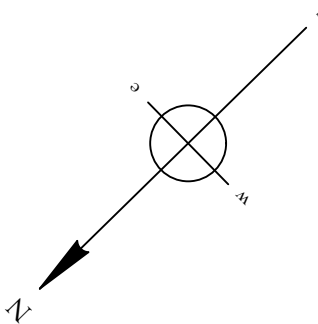
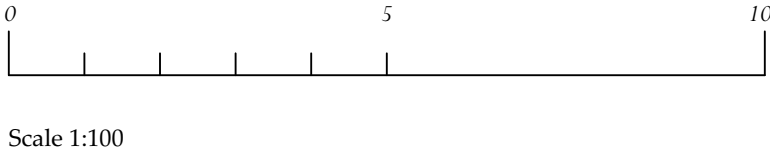
All dimensions must be checked by the contractor before commencing work on site.

No deviation from this drawing will be permitted without the prior written consent of the Architect.

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Ground Floor Slabs, Foundations, Sub-Structures, etc. All work below ground level is shown provisionally. Inspection of ground condition is essential prior to work commencing.

Reassessment is essential when the ground conditions are apparent, and redesign may be necessary in the light of soil conditions found. The responsibility for establishing the soil and sub-soil conditions rests with the contractor.



Rev	Date	Description	Initials
PROJECT		Adders Moss Replacement House	
		Adders Moss, Cheshire	
TITLE:		Proposed First Floor	
SCALE:		1:100 @A1	
DATE:		02/2022	
DRAWING No:		6257/004	
DRAWN BY:		TG	

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